

WIGGINS BAY
DUE DILIGENCE REPORT

PREPARED BY:



RDACONSULTING
ENGINEERS

4/3/2025

MICHEAL J DELATE, PE

RDA CONSULTING ENGINEERS
791 10TH ST S, SUITE 302, NAPLES, FL 34102

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1 INTRODUCTION

1.1 SITE LOCATION AND EXISTING CONDITIONS

The site is located north of Wiggins Pass Road and East of Vanderbilt Drive. The address of the site is Wiggins Bay Drive, North Naples, FL 34110. The site currently is residential.

1.2 SCOPE OF WORK.

It is to identify which drainage facilities need to be maintained by the Wiggins Bay Foundation located in Wiggins Bay by utilizing available records. The available records are obtained online through public portals or documents provided by the foundation or by other agencies such as Collier County and SFWMD. It is to understand and review previously approved plans, permits and foundation governing documents to determine the extent of facilities (pipe, pipe end treatments, inlets, dry detention areas, lakes, outfall, etc) required to be maintained by the foundation.

2 ASSESSMENT OF DOCUMENTS.

2.1 DOCUMENTS REVIEWED

Collier County and SFWMD agencies plans and permits and from the Wiggins Bay Foundation's website many documents have been reviewed. Out of them, below are the list of documents that were used to determine the drainage facilities and maintenance responsibilities by Wiggins Bay Foundation.

1. Declarations, Bylaws, Articles of Incorporation
2. Wiggins Bay Amendment to Declarations 12-3-94 on lands subject to declarations.
3. PUD Revised 82-121 1982
4. Drainage Easement 1984 BK 1088 P 1562
5. Warranty Deed 1985, Tract 10 subject to Declarations.
6. Wiggins Bay Plat Book 13 p89
7. Wiggins Bay Plat Book 13 p90
8. Villas Plat Book 22 p74
9. Villas Plat Book 22 p75
10. SDP 97-030 (A) – Bequia ph 2 at cove towers.
11. SDP 97-030 (B) – Bequia ph 3.
12. SDP 92-119 The colony at Wiggins Bay.
13. SDP 00-105 The Montego at the cove towers.
14. The cove towers Nevis – Phase 6
15. SDP 88-31, Princeton Place.
16. AR-347, The Aruba at Cove Towers.
17. SFWMD Application 931117-2-D, permit 11-00012-D, Wiggins Bay Villas
18. SDP for Part of Tract 2A of Wiggins Bay Phase 1

3 DRAINAGE MAINTENANCE RESPONSIBILITIES

3.1 RESPONSIBILITIES AREAS

Per the Plat Book 13, Page 89, Wiggins Bay Foundation and its assigns are responsible for maintenance of all the drainage easements from Horse Creek Drive, Wiggins Bay Drive and Bay Club Drive to the lakes. Plat Book 13, Page 90, shows the easement sketches for overall site. The Princeton place plan (SDP 88-31) shows the drainage easement and pipe layout for the Horse Creek Drive. Also, per OR Book 1358, page 108 the easement along the Horse Creek Drive has been reoriented. See Appendix I for the graphic view and the drainage easement responsibilities highlighted with red box.

Per the Plat Book 22 Page 74, Wiggins Bay Foundation is responsible for the ROW for Wiggins Bay Drive (Tract 9A) for ingress and egress purposes, tract C for drainage and conservation purposes, and Tract D for drainage easement purposes. The Plat Book 22 Page 75 shows the drainage easement sketches. See Appendix II for the graphic view and the drainage easement responsibilities highlighted with red box.

Per SDP 93-072, Colony at the Wiggins plans show the drainage easement on tract C and D that will be Wiggins Bay Foundation responsibility. See Appendix III for the graphic view and the drainage easement responsibilities highlighted with red box.

Per SDP 97-030, The Cove Towers Phase I, Per SDP 97-030, The Cove Towers Bequia – PHASE 2 & 3 plan, per SDP 2000-105 Montego phase 4 plan and per SDP 2001-AR-612 Nevis Phase 6. Water management system, common access ways and landscaped area outside of the condominium areas will be owned and maintained by the towers at Tarpon Cove Master Association. See Appendix IV for the graphic view and the drainage easement responsibilities highlighted with red box.

Per SDP 95-011 plan, drainage improvement will be the responsibility of the proposed condominium association that will be created for all unit owners. See Appendix V for the graphic view and the drainage easement responsibilities highlighted with red box.

In summary, the lakes and are Foundation responsibility. The stormwater drainage system associated with the backbone road system is Foundation responsibility. Additionally, all the drainage pipes coming from the road to the lakes are Foundation responsibility. The various inlets in those roads above, the control structures and weirs and the outfall pipes are also Foundation responsibility.

4 APPENDICES

WIGGINS BAY PHASE 1

DESCRIPTION

A parcel of land lying in the Southwest quarter of Section 16, Township 48 South, Range 25 East, Collier County, Florida, being described as follows:

Commencing at the west quarter corner of said Section 16, run N 88°07'23" E along the north line of the southwest quarter 123.97 feet; thence S 01°52'37" E 30.00 feet to the POINT OF BEGINNING; thence N 88°07'23" E along the south right-of-way line of Wiggins Pass Road, 1981.72 feet; thence S 01°52'37" E 50.00 feet; thence 98.17 feet along the arc of a curve, concave to the southeast, having a radius of 125.00 feet and subtended by a chord having a length of 95.67 feet and bearing S 65°37'21" W to a point of tangency; thence S 43°07'23" W 103.84 feet to a point of curvature; thence 50.10 feet along the arc of a curve, concave to the northwest, having a radius of 75.00 feet and subtended by a chord having a length of 49.18 feet and bearing S 67°15'38" W to a point of reverse curvature; thence 36.34 feet along the arc of a curve, concave to the southeast, having a radius of 25.00 feet and subtended by a chord having a length of 33.22 feet and bearing S 39°45'38" W to a point of tangency; thence S 01°52'37" E 20.00 feet to a point of curvature; thence 25.80 feet along the arc of a curve, concave to the west, having a radius of 132.67 feet and subtended by a chord having a length of 25.76 feet and bearing S 03°45'38" W to a point of reverse curvature; thence 25.80 feet along the arc of a curve, concave to the east, having a radius of 132.67 feet and subtended by a chord having a length of 25.76 feet and bearing S 03°45'38" W to a point of compound curvature; thence 198.53 feet along the arc of a curve, concave to the east, having a radius of 2275.00 feet and subtended by a chord having a length of 198.47 feet and bearing S 04°22'37" E to a point of tangency; thence S 06°52'37" E 100.32 feet to a point of curvature; thence 106.29 feet along the arc of a curve, concave to the northeast, having a radius of 145.00 feet and subtended by a chord having a length of 103.93 feet and bearing S 27°52'37" E to a point of reverse curvature; thence 227.59 feet along the arc of a curve, concave to the southwest, having a radius of 193.14 feet and subtended by a chord having a length of 214.65 feet and bearing S 15°07'09" E to a point of tangency; thence S 18°38'20" W 26.50 feet to a point of curvature; thence 278.57 feet along the arc of a curve, concave to the northeast, having a radius of 125.00 feet and subtended by a chord having a length of 224.40 feet and bearing S 45°12'14" E to a point of tangency; thence N 70°57'12" E 289.20 feet to a point of curvature; thence 164.88 feet along the arc of a curve, concave to the northwest, having a radius of 125.00 feet and subtended by a chord having a length of 153.18 feet and bearing N 33°09'57" E to a radial line; thence N 85°22'48" E 58.15 feet to the west right-of-way line of Gulf Harbor Road; thence S 00°36'44" E 495.78 feet along said right-of-way line; thence N 88°06'51" E 180.25 feet to the west line of Gulf Harbor Subdivision as recorded in Plat Book 4, page 31, Public Records of Collier County, Florida; thence S 00°50'39" E 340.00 feet along said west line; thence N 56°46'49" W 364.65 feet; thence S 41°45'59" W 181.77 feet; thence W 80°04'26" W 203.04 feet; thence S 76°40'32" W 390.51 feet; thence W 61°06'48" W 331.21 feet; thence N 73°55'35" W 307.00 feet; thence N 20°28'49" E 443.00 feet; thence S 86°59'14" E 25.73 feet to the safe upland line of the Cocohatchee River (NGVD elevation approximately 1.88 feet); thence along said line approximately as follows; thence N 13°20'05" E 49.01 feet; thence N 00°23'30" W 100.37 feet; thence N 21°56'59" W 55.86 feet; thence N 28°59'45" W 148.84 feet; thence N 44°06'26" W 43.00 feet; thence N 79°56'15" W 69.87 feet; thence S 87°59'37" W 186.80 feet; thence S 61°13'52" W 158.05 feet; thence S 83°15'33" W 50.10 feet; thence S 77°26'59" W 100.07 feet; thence S 69°15'16" W 101.65 feet; thence S 88°14'24" W 50.57 feet; thence S 81°42'58" W 50.03 feet; thence S 48°20'22" W 58.49 feet; thence S 01°06'32" W 50.11 feet; thence N 67°30'13" W 45.78 feet; thence N 89°22'08" W 64.76 feet; thence N 09°20'17" W 399.91 feet; thence N 36°27'48" W 106.04 feet; thence N 51°47'52" W 41.49 feet; thence N 63°36'22" W 52.48 feet, along a non-radial line to a point on a curve, and the east line of Vanderbilt Beach Drive; thence 127.59 feet along the arc of a curve, concave to the west, having a radius of 1960.08 feet and a chord bearing N 01°04'59" E 127.57 feet to a point of tangency; thence along said east line, N 00°46'55" W 105.48 feet to a point of tangency; thence 38.79 feet along the arc of a curve concave to the southeast, having a radius of 25.00 feet, and a chord bearing N 43°40'17" E 35.02 feet to a point of tangency, said point being the point of beginning of the herein described tract.

A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 48 SOUTH, RANGE 25 EAST COLLIER COUNTY, FLORIDA.

DEDICATION

Wiggins Bay Associates, Ltd., an Illinois limited partnership, as the owner in fee simple and as the developer of the lands described and shown on this plat, hereby dedicates said lands and plat for the uses and purposes expressed on this plat, reserving to itself, its successors, grantees and assigns, the following easements and rights:

- Private easements over and across the areas shown on this plat and marked as Tract No. 9 for perpetual use for purposes of ingress and egress.
- Easements lying within the areas shown on this plat and marked as Tract No. 9 for perpetual use for purposes of water and sewer facilities.
- Easements lying within the areas shown on this plat and marked as "Utility Easement" for perpetual use for purposes of electric, telephone, cable television, gas and other power, fuel, communication and all other types of utility facilities.
- Easements lying within the areas shown on this plat and marked "Drainage Easement" for perpetual use for purposes of water detention and retention, drainage and surface water management.
- The right to grant limited and unlimited, surface and subsurface, exclusive and non-exclusive rights, licenses and easements within the various easements, or any part thereof, to public and private persons for purposes that will not result in any substantial interference with the primary uses to which such easements are dedicated.
- All water and sewer utilities constructed within the platted area shall be dedicated to the County Water-Sewer District of Collier County, Florida, upon acceptance of improvements requested by the plat.
- To Collier County all drainage easements (D.E.) as indicated on the plat for the purpose of drainage with no responsibility for maintenance.
- To the WIGGINS BAY FOUNDATION and its assigns all drainage easements (D.E.) as indicated on the plat for the purpose of maintaining drainage facilities.

The use and enjoyment of each of the easements above specified shall include the right, from time to time, to enter upon the surface of any subsurface easements for the purpose of installing, constructing, inspecting, operating, replacing, renewing, altering, enlarging, removing, repairing and maintaining any and all structures, equipment, improvements, property and facilities necessary and appropriate to the uses and purposes for which said easements have been dedicated, and when necessary to save and protect such structures, equipment and improvements as may be properly installed within said easements to cut, trim or remove any trees, shrubs or other vegetation which interfere with the use of such utility facilities; subject to approval of Wiggins Bay Associates, Ltd., or assigns.

No part of the lands described or shown in this plat shall be deemed by virtue of the recording of this plat to have been dedicated to the public for any use or purpose.

IN WITNESS WHEREOF, the undersigned have executed this Dedication at Naples, Florida, this 13th day of June, 1984.

Signed, sealed & delivered in the presence of: *Honorable W. Crawford* and *Juanita G. Griffin* By: *Glenn G. Griffin* and *Gerald F. Griffin* (Corporate Seal) GLENN G. GRIFFIN, Vice President and GERALD F. GRIFFIN, II, Secretary

STATE OF FLORIDA: COUNTY OF COLLIER: The foregoing instrument was executed and acknowledged before me this 13th day of June, 1984, by GLENN G. GRIFFIN and GERALD F. GRIFFIN, II, Vice President and Secretary, respectively, of Surrey Wayne Corporation, an Illinois corporation, as General Partner of Wiggins Bay Associates, Ltd., an Illinois limited partnership, pursuant to the corporate authority vested in them as such officers on behalf of said corporation.

JOINER OF MORTGAGEES

The undersigned hereby certifies that he is the holder of a mortgage upon the lands described and shown on this plat, and does hereby join in and ratify this plat and all dedications and reservations hereon, and agrees that his mortgage, which is recorded in Official Records Book 932, page 1057, in the public records of Collier County, Florida, shall be subordinated to the dedication shown hereon.

Signed, sealed & delivered in the presence of: *David C. Jones, Jr.* DAVID C. JONES, JR., TRUSTEE

STATE OF FLORIDA: COUNTY OF COLLIER: The foregoing instrument was acknowledged before me this 13th day of June, 1984, by DAVID C. JONES, JR., TRUSTEE.

Stacy A. Smith Notary Public My Commission Expires: 12/31/84

The undersigned hereby certifies that it is the holder of a mortgage upon the lands described and shown on this plat, and does hereby join in and ratify this plat and all dedications and reservations hereon, and agrees that its mortgage, which is recorded in Official Records Book 986, page 1738, in the public records of Collier County, Florida, shall be subordinated to the dedication shown hereon.

Signed, sealed & delivered in the presence of: *Shirley E. Linley* and *Phyllis J. Breen* SHIRLEY E. LINLEY, Vice President and PHYLLIS J. BREEN, Secretary (Corporate Seal)

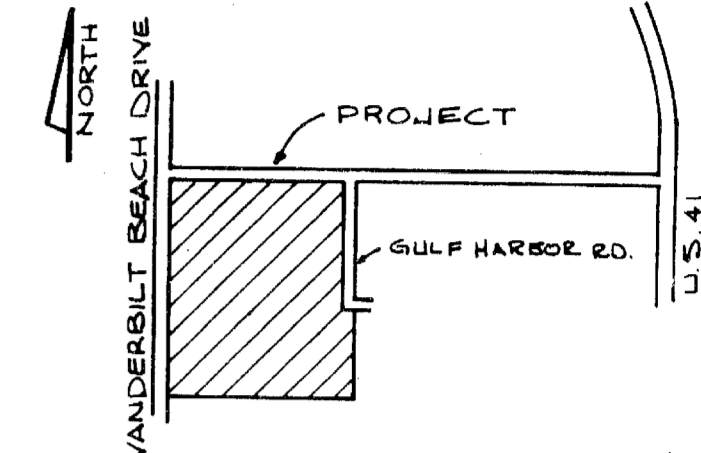
STATE OF FLORIDA: COUNTY OF COLLIER: The foregoing instrument was acknowledged before me this 15th day of June, 1984, by Shirley E. Linley as Vice President and Phyllis J. Breen as Secretary, respectively, of Naples Federal Savings and Loan Association, by corporate authority vested in them as such officers on behalf of said corporation.

Conrad W. Turner Notary Public My Commission Expires: 12/31/84

GENERAL NOTES

- 1) ■ = indicates permanent reference monuments (P.R.M.).
- 2) ● = indicates permanent control points (P.C.P.).
- 3) All dimensions are in feet and decimals thereof.
- 4) All dimensions on curves are arc lengths unless noted otherwise. All curves are circular curves. "A" = arc; "C" = chord.
- 5) RDL indicates radial.
- 6) NON-RDL indicates non-radial.
- 7) Bearings based on a bearing of S 01°04'30" E on the West line of the Southwest 1/4 of Section 9, Township 48 South, Range 25 East, Collier County, Florida.
- 8) D.E. = Drainage Easement.
- 9) U.E. = Utility Easement.
- 10) The centerline of pavement ranges in elevation from a low of 10.50 to a high of 14.20 per design plans. The elevation of lots or parcels ranges from a low of 7.0± to a high of 12.0± which is natural ground. The minimum base flood elevation is 12.00 per flood insurance rate map, community panel number 120067-0002A, dated September 14, 1979. All elevations are based on National Geodetic Vertical Datum.

Information for establishing a safe upland line was sent by the Department of Natural Resources Bureau of Surveying and Mapping. The line is approximately 0.5' above mean high water. Tidal bench marks 5235 B 1977, 5235 C 1977 and 5235 D 1978 established by NOS. were used.



COUNTY APPROVALS

This plat approved by the Collier County Engineer this 22nd day of June, 1984 A.D.

Thomas E. Kuck P.E. Thomas E. Kuck, P.E. County Engineer

This plat approved by the Collier County Health Department this 22nd day of June, 1984 A.D., provided that central water and central sewers are available and no individual potable water wells or individual sewage systems are permitted.

John H. Stephens, R.S. John H. Stephens, R.S. County Sanitarian

The plat approved by the Collier County Attorney this 22nd day of June, 1984 A.D.

Kenneth B. Cuyler, ASST. CO. ATTY. Kenneth B. Cuyler, ASST. CO. ATTY. County Attorney

COUNTY COMMISSION APPROVAL

This plat approved in regular open meeting by the Board of County Commissioners of Collier County, Florida, this 10th day of April, 1984, A.D., provided that the plat is filed in the office of the Clerk of the Circuit Court of Collier County, Florida.

William J. Reagan William J. Reagan, Clerk of the Board of County Commissioners, Collier County, Florida

FILING RECORD

I HEREBY CERTIFY that this plat has been examined by me and that it complies in form with the requirements of Chapter 177, Florida Statutes. I further certify that said plat was filed for record at Naples, Florida, this 22nd day of June, 1984, A.D. and duly recorded in Plat Book 13, pages 87-90, inclusive, of the Public Records of Collier County, Florida.

WILLIAM J. REAGAN, CLERK

BY: *Janice Evans* JANICE EVANS, Deputy Clerk

SURVEYORS CERTIFICATE

I hereby certify that this plat is a true and correct representation of the lands surveyed, that the survey was made under my responsible direction and supervision, and that the survey data complies with all the requirements of Chapter 177 F.S. and meets the minimum technical standards of Rule 21HH-6 F.A.C. as set forth by the Florida Board of Land Surveyors pursuant to Section 472.07, F.S.

Terry E. Wilkinson Terry E. Wilkinson, P.L.S. Florida Registration No. 4045

TITLE CERTIFICATION

I, J. Stephen Crawford, an attorney-at-law, licensed in the State of Florida, hereby certify that title to the lands herein described and shown on this plat is vested in Wiggins Bay Associates, Ltd., an Illinois limited partnership; that taxes for the year 1983 and prior years have been paid, and that the title to the property is subject to the following mortgages:

Mortgage in favor of David C. Jones, Jr., Trustee, dated August 3, 1981, recorded August 7, 1981, in Official Records Book 932, page 1057, in the public records of Collier County, Florida.

Mortgage in favor of Naples Federal Savings and Loan Association, dated May 24, 1983, recorded May 26, 1983, in Official Records Book 1023, page 615, in the public records of Collier County, Florida.

Sworn to and subscribed before me this 13th day of June, 1984.

Juanita G. Griffin Notary Public My Commission Expires: 12/31/84

NOTARY PUBLIC STATE OF FLORIDA MY COMMISSION EXPIRES FEB. 14, 1988 BONDED THRU GENERAL INS. UND.

NOTARY PUBLIC STATE OF FLORIDA MY COMMISSION EXPIRES FEB. 14, 1988 BONDED THRU GENERAL INS. UND.

RESOLUTION NO. 96-366, VACATE
RECORDED 8/30/96, OR 2223 PG 971-80
RESOLUTION NO. 2001-8
VACATE PART WIGGINS BAY PHASE
RECORDED 3/15/01, OR 2791 PGL27-19
PLAT BOOK 13 PAGE 90

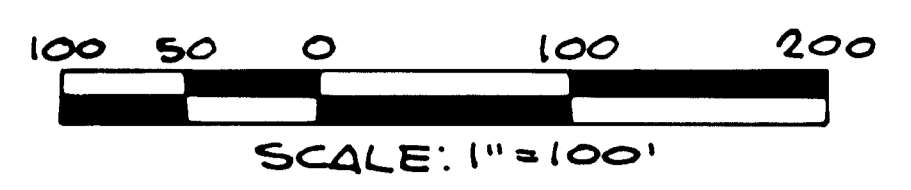
RESOLUTION NO. 88-139
Vacate a strip of land 15' wide lying East-
erly & Northeastly from the West line of
Tract 2B strip being a 15' drainage easement
on Wiggins Bay, Phase One.
RECORDED 6-15-88
OR 1358 PG 104-108
PB 13 PG 90

DRAWING NUMBER
PG 90

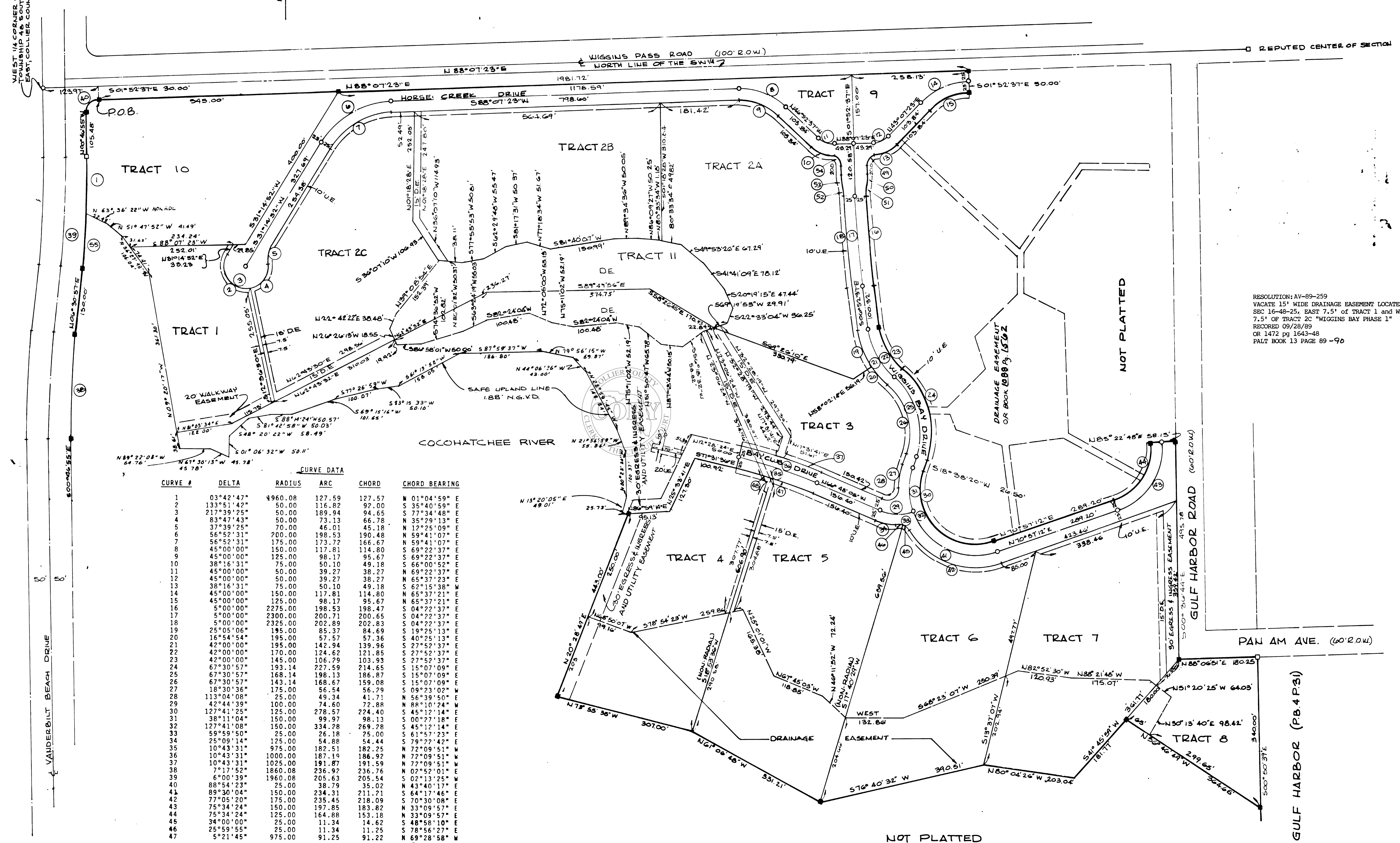
DRAWING NUMBER
PB 13

DRAWING NUMBER

DRAWING NUMBER



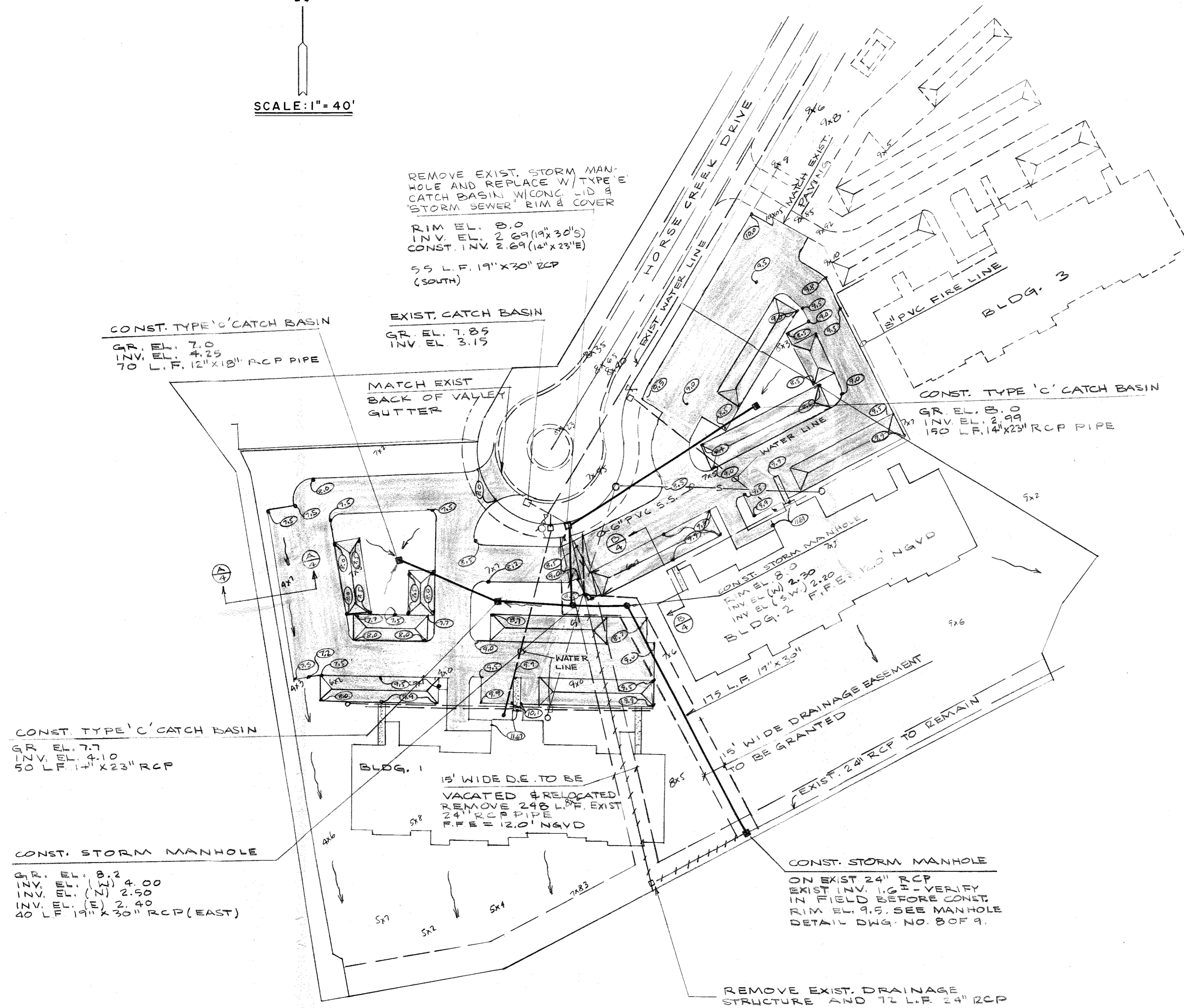
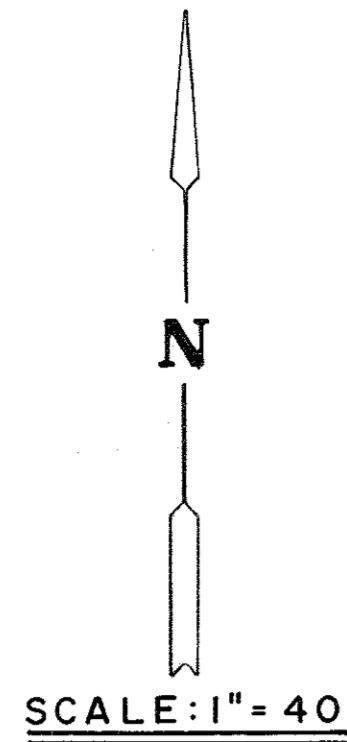
WEST 1/4 CORNER OF SECTION 15
TOWNSHIP 46 SOUTH, RANGE 25
EAST, COLLIER COUNTY, FLORIDA



CURVE DATA

CURVE #	DELTA	RADIUS	ARC	CHORD	CHORD BEARING
1	03°42'47"	4960.08	127.59	127.57	N 01°04'59" E
2	133°51'42"	50.00	116.89	92.00	S 35°50'15" W
3	217°39'25"	50.00	189.94	94.65	S 77°34'48" W
4	83°47'43"	50.00	73.13	66.78	N 35°29'13" W
5	37°39'25"	70.00	46.01	45.18	N 12°25'09" W
6	56°52'31"	200.00	198.53	190.48	N 59°41'07" W
7	56°52'31"	175.00	173.72	166.67	N 59°41'07" W
8	45°00'00"	150.00	117.81	114.80	S 69°22'37" E
9	45°00'00"	125.00	95.67	92.72	S 69°22'37" E
10	38°16'31"	75.00	50.10	49.18	S 66°00'52" E
11	45°00'00"	50.00	39.27	38.27	N 69°22'37" E
12	45°00'00"	50.00	39.27	38.27	N 65°37'23" E
13	38°16'31"	75.00	50.10	49.18	S 62°15'38" E
14	45°00'00"	150.00	117.81	114.80	N 65°37'21" E
15	45°00'00"	125.00	95.67	92.72	N 65°37'21" E
16	57°00'00"	225.00	198.53	198.47	S 04°22'37" E
17	57°00'00"	2300.00	200.71	200.65	S 04°22'37" E
18	57°00'00"	2325.00	202.89	202.83	S 04°22'37" E
19	25°05'06"	195.00	85.37	84.69	S 19°25'13" W
20	16°54'54"	195.00	57.57	57.36	S 40°25'13" W
21	42°00'00"	195.00	142.94	139.96	S 27°52'37" E
22	42°00'00"	170.00	124.62	121.85	S 27°52'37" E
23	42°00'00"	145.00	106.79	103.93	S 27°52'37" E
24	67°30'57"	193.14	227.59	214.65	S 15°07'09" E
25	67°30'57"	168.14	198.13	186.87	S 15°07'09" E
26	67°30'57"	143.14	168.67	159.08	S 15°07'09" E
27	18°30'36"	175.00	56.54	56.29	S 09°23'02" W
28	113°04'08"	25.00	49.34	41.71	N 56°39'50" W
29	42°44'39"	100.00	74.60	72.88	N 88°10'24" W
30	127°41'08"	125.00	278.57	274.40	S 45°12'11" W
31	38°11'04"	150.00	145.08	99.97	N 02°52'07" W
32	127°41'08"	150.00	334.28	269.78	S 45°12'11" W
33	59°59'50"	25.00	26.18	25.00	S 61°57'23" E
34	25°09'14"	125.00	54.88	54.44	S 79°27'42" E
35	10°43'31"	975.00	182.51	182.25	N 72°09'51" W
36	10°43'31"	1000.00	187.19	186.92	N 72°09'51" W
37	10°43'31"	1025.00	191.87	191.59	N 72°09'51" W
38	7°17'10"	1960.08	236.92	236.70	N 02°52'07" W
39	6°00'39"	1960.08	205.63	205.54	S 02°13'25" W
40	88°54'23"	25.00	38.79	35.02	N 43°40'17" E
41	89°30'04"	150.00	234.31	211.21	S 64°17'46" E
42	77°05'20"	175.00	235.45	218.09	S 70°30'08" E
43	75°34'24"	150.00	197.85	183.82	N 33°09'57" E
44	75°34'24"	125.00	164.88	153.18	N 33°09'57" E
45	34°00'00"	25.00	11.34	11.25	S 48°58'10" E
46	25°59'55"	25.00	11.34	11.25	S 78°56'27" E
47	5°21'45"	975.00	91.25	91.22	N 69°28'58" W
48	5°21'45"	975.00	91.25	91.22	N 74°50'43" W
49	83°16'31"	25.00	36.34	33.22	S 39°45'38" W
50	11°08'26"	132.67	25.80	25.76	S 03°45'38" W
51	11°08'26"	132.67	25.80	25.76	S 03°45'38" W
52	11°08'26"	132.67	25.80	25.76	S 07°26'50" E
53	11°08'26"	132.67	25.80	25.76	S 07°26'50" E
54	83°16'31"	25.00	36.34	33.22	S 03°30'52" E
55	1°17'13"	1960.08	44.03	44.03	N 05°52'21" E

COASTAL ENGINEERING CONSULTANTS, INC.
COASTAL & CIVIL ENGINEERS · PLANNERS · SURVEYORS · GEOLOGISTS
MAPLES, FLORIDA



LEGEND

- (7) EXISTING ELEVATION NGVD
- (8) PROPOSED ELEVATION NGVD
- ▬ PROPOSED PAVEMENT
- ▬ CONCRETE WALK

Work shall comply with County Ordinance No. 82-81, Collier County Public Rights-of-Way Construction Standards Handbook, latest edition, and stipulations and/or Conditions of Permit.
 02-7-89
 Collier County Development Services Dept.

Approved for Compliance with
COLLIER COUNTY
 Water Management Criteria
 By: *[Signature]*
 Date: 7-2-89
 Water Management Department
 522-88-31

[Handwritten Signature]
 7/1/89

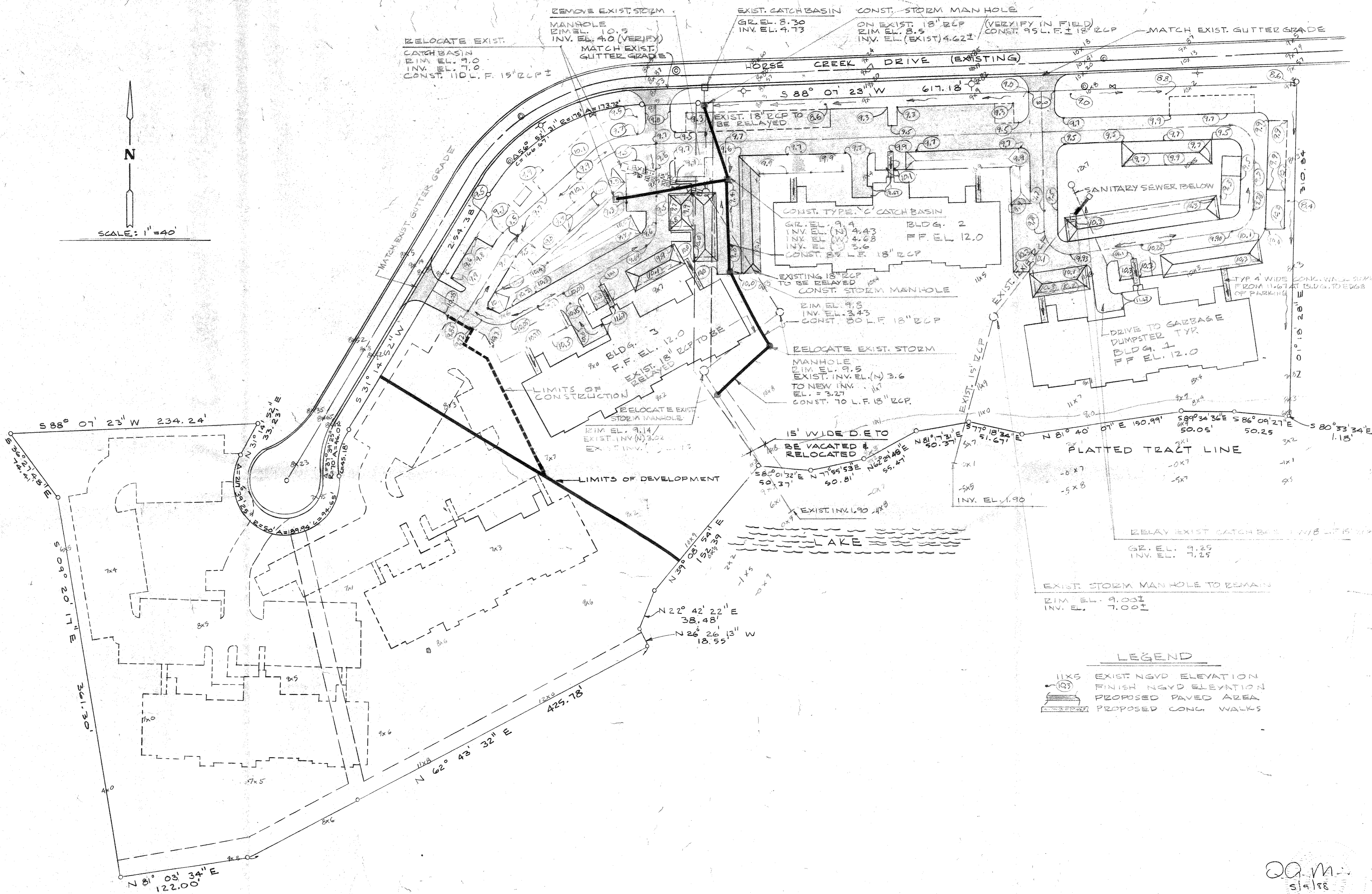
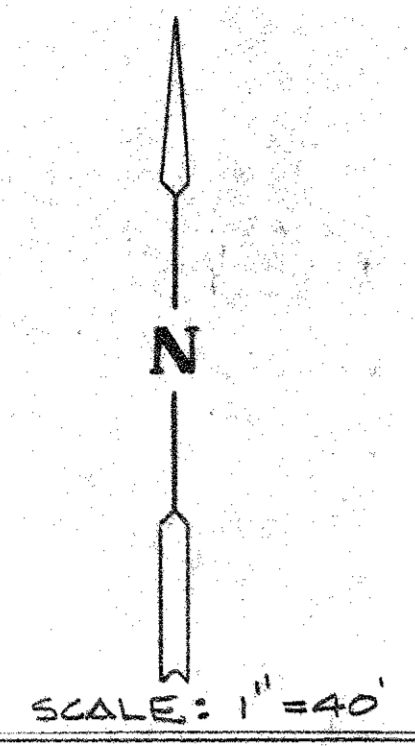
Revision	Date	Description	By
2	5/9/89	REALIGN D.E. PER COLLIER COUNTY	DH
1	4/19/89	ADD C.B. TYPE 'E'	LJH

PRINTED
 JUL 17 1989
 Q. GRADY MINOR
 & ASSOCIATES
 CIVIL ENGINEERS

DESIGNED: AVR
 DRAWN: DH
 APPROVED: QGM
 SCALE: 1" = 40'

Q. GRADY MINOR AND ASSOCIATES, P.A.
CIVIL ENGINEERS
 10911 BONITA BEACH RD. S.E.
 BONITA SPRINGS, FL. 33923 (813) 947-1144

PRINCETON PLACE
GRADING, PAVING & DRAINAGE PLAN
 DATE: MARCH, 1989
 DRAWING NUMBER 3 OF 9



LEGEND

- 11x5 EXIST NGVD ELEVATION
- 103 FINISH NGVD ELEVATION
- PROPOSED PAVED AREA
- PROPOSED CONC WALKS

Revision	Date	Description	By
1	9/87	EXTENSIVE REVISIONS	DA

PRINTED
MAY 08 1988
Q. GRADY MINOR & ASSOCIATES
CIVIL ENGINEERS

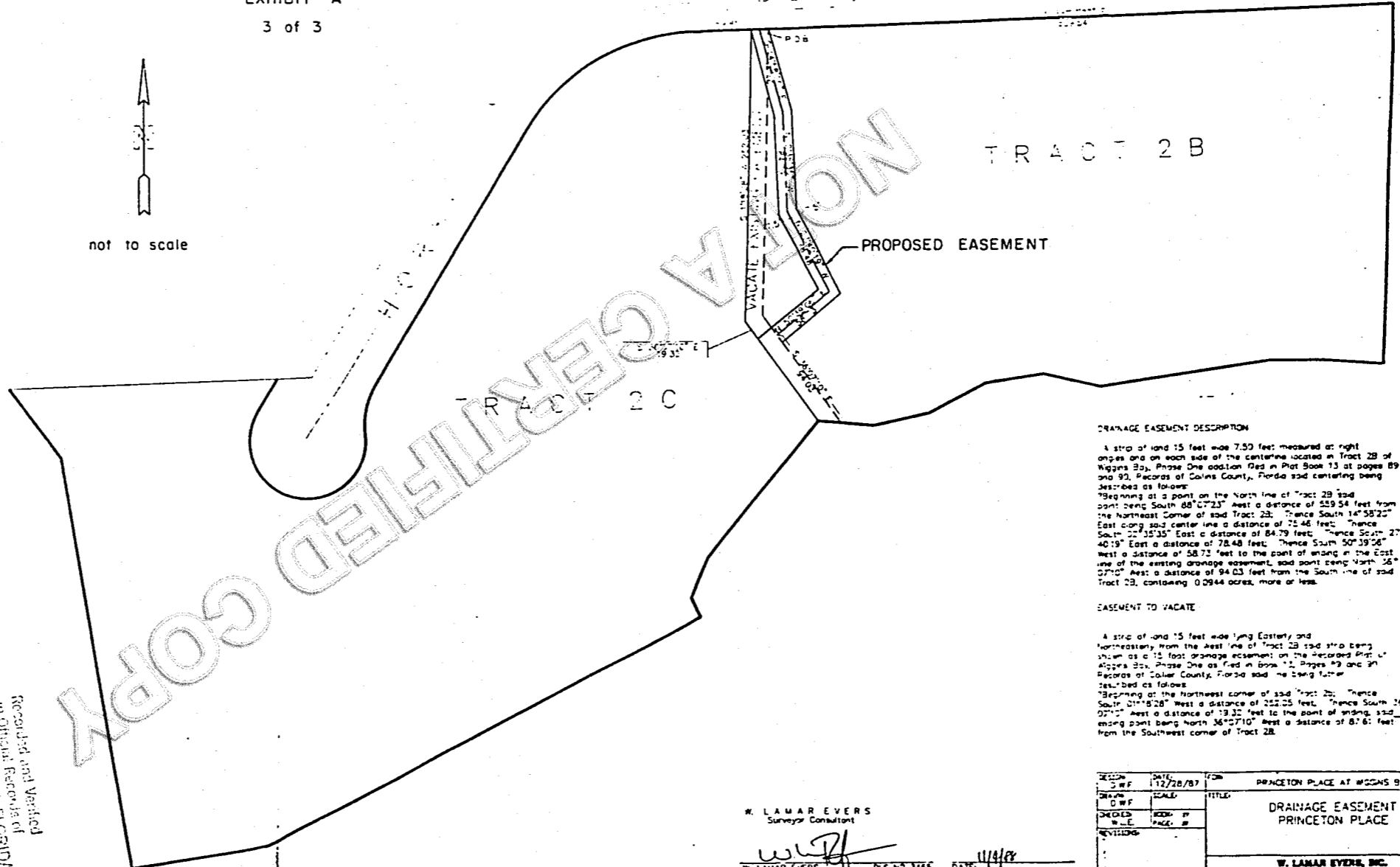
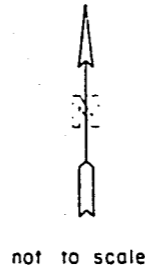
DESIGNED: AVR
DRAWN: D.H.
APPROVED: Q.G.M.
SCALE: 1"=40'

Q. GRADY MINOR AND ASSOCIATES, P.A.
CIVIL ENGINEERS
10911 BONITA BEACH RD. S.E.
BONITA SPRINGS, FL. 33923 (813) 947-1144

PRINCETON PLACE
GRADING, PAVING & DRAINAGE PLAN
DATE: SEPTEMBER, 1987 DRAWING NUMBER 3 OF 11

Q.G.M.
5/9/88

EXHIBIT "A"
3 of 3



DRAINAGE EASEMENT DESCRIPTION
A strip of land 15 feet wide 7.50 feet measured at right angles and on each side of the centerline located in Tract 2B of Wiggins Bay, Phase One addition filed in Plat Book 13 at pages 89 and 90, Records of Collier County, Florida said centerline being described as follows:
Beginning at a point on the North line of Tract 2B said point being South 88°07'23" West a distance of 529.54 feet from the Northeast Corner of said Tract 2B; thence South 14°58'22" East along said centerline a distance of 75.46 feet; thence South 22°35'35" East a distance of 84.79 feet; thence South 27°40'19" East a distance of 78.48 feet; thence South 50°39'56" West a distance of 58.73 feet to the point of ending in the East line of the existing drainage easement, said point being North 26°07'10" West a distance of 94.03 feet from the South line of said Tract 2B, containing 0.0944 acres, more or less.

EASEMENT TO VACATE
A strip of land 15 feet wide lying Easterly and Northerly from the West line of Tract 2B said strip being shown as a 15 foot drainage easement on the Records Plat of Wiggins Bay, Phase One as filed in Book 13, Pages 89 and 90, Records of Collier County, Florida said to be being further described as follows:
Beginning at the Northwest corner of said Tract 2B; thence South 21°48'28" West a distance of 252.05 feet; thence South 26°07'10" West a distance of 19.32 feet to the point of ending, said ending point being North 36°27'10" West a distance of 87.61 feet from the Southwest corner of Tract 2B.

Recorded and Verified
in Official Records of
COLLIER COUNTY, FLORIDA

W. LAMAR EVERS
Surveyor Consultant
[Signature]
W. LAMAR EVERS PLS 90 3465 DATE: 11/14/87
BEARINGS BASED ON THE RECORDED PLAT OF WIGGINS BAY PHASE ONE

DATE	12/28/87	FOR	PRINCETON PLACE AT WIGGINS BAY
DRAWN	DWF	TITLE	DRAINAGE EASEMENT PRINCETON PLACE
DECEDED	BOOK #	W. LAMAR EVERS, INC. PROFESSIONAL LAND SURVEYORS 1844 25TH AVENUE NORTH NAPLES, FLORIDA 34107 TEL: (813) 435-1111 FAX: (813) 435-1112 C - 86.022	

DESCRIPTION OF LANDS PLATTED

A TRACT OF LAND LYING IN THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 48 SOUTH, RANGE 25 EAST, COLLIER COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTERCORNER OF SAID SECTION 16 RUN N 88°07'23" E ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER 2,105.69 FEET; THENCE S 01°52'37" E 30.00 FEET TO THE NORTHEAST CORNER OF TRACT 9, WIGGINS BAY PHASE ONE, AS RECORDED IN PLAT BOOK 13, PAGES 89 & 90 OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA, AND FOR THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT; THENCE S 01°52'37" E ALONG THE EAST LINE OF SAID TRACT 9 50.00 FEET; THENCE 98.17 FEET ALONG THE ARC OF A CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 125.00 FEET AND SUBTENDED BY A CHORD HAVING A LENGTH OF 95.67 FEET AND BEARING S 65°37'21" W TO A POINT OF TANGENCY; THENCE S 43°07'23" W 103.84 FEET TO A POINT OF CURVATURE; THENCE 50.10 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 75.00 FEET AND SUBTENDED BY A CHORD HAVING A LENGTH OF 49.18 FEET AND BEARING S 62°15'38" W TO A POINT OF REVERSE CURVATURE; THENCE 36.34 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 25.00 FEET AND SUBTENDED BY A CHORD HAVING A LENGTH OF 33.22 FEET AND BEARING S 39°45'38" W TO A POINT OF TANGENCY; THENCE S 01°52'37" E 20.00 FEET TO A POINT OF CURVATURE; THENCE 25.80 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 132.67 FEET AND SUBTENDED BY A CHORD HAVING A LENGTH OF 25.76 FEET AND BEARING S 03°45'38" W TO A POINT OF REVERSE CURVATURE; THENCE 25.80 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 132.67 FEET AND BEARING S 03°45'38" W TO A POINT OF COMPOUND CURVATURE; THENCE 198.53 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 2,275.00 FEET AND SUBTENDED BY A CHORD HAVING A LENGTH OF 198.47 FEET AND BEARING S 04°22'37" E TO A POINT OF TANGENCY; THENCE S 06°52'37" E 100.32 FEET TO A POINT OF CURVATURE; THENCE 106.29 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 145.00 FEET AND SUBTENDED BY A CHORD HAVING A LENGTH OF 103.93 FEET AND BEARING S 27°52'37" E TO A POINT OF REVERSE CURVATURE; THENCE 227.59 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 193.14 FEET AND SUBTENDED BY A CHORD HAVING A LENGTH OF 214.65 FEET AND BEARING S 15°07'09" E TO A POINT OF TANGENCY; THENCE S 18°38'20" W 26.50 FEET TO A POINT OF CURVATURE; THENCE 278.57 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 125.00 FEET AND SUBTENDED BY A CHORD HAVING A LENGTH OF 224.40 FEET AND BEARING S 45°12'14" E TO A POINT OF TANGENCY; THENCE N 70°57'12" E 289.20 FEET TO A POINT OF CURVATURE; THENCE 164.88 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 125.00 FEET AND SUBTENDED BY A CHORD HAVING A LENGTH OF 153.18 FEET AND BEARING N 53°09'57" E TO A POINT OF TANGENCY; THENCE N 85°22'48" E 58.15 FEET; THENCE N 00°36'44" W ALONG THE WEST RIGHT-OF-WAY LINE OF GULF HARBOUR ROAD 852.86 FEET; THENCE S 88°07'23" W 464.87 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT; LESS AND EXCEPT A TRACT OF LAND LYING IN THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 48 SOUTH, RANGE 25 EAST, COLLIER COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 16 RUN N 88°07'23" E ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER 2,105.69 FEET; THENCE S 01°52'37" E 80.00 FEET; THENCE ALONG THE SOUTHERLY AND EASTERLY LINES OF TRACT 9, WIGGINS BAY, PHASE I AS RECORDED IN PLAT BOOK 13, PAGES 89 & 90 OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA RUN 98.17 FEET ALONG THE ARC OF A CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 125.00 FEET AND SUBTENDED BY A CHORD HAVING A LENGTH OF 95.67 FEET AND BEARING S 65°37'21" W TO A POINT OF TANGENCY; THENCE S 43°07'23" W 103.84 FEET TO THE POINT OF BEGINNING; THENCE 50.10 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 75.00 FEET AND SUBTENDED BY A CHORD HAVING A LENGTH OF 49.18 FEET AND BEARING S 62°15'38" W TO A POINT OF REVERSE CURVATURE; THENCE 36.34 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 25.00 FEET AND SUBTENDED BY A CHORD HAVING A LENGTH OF 33.22 FEET AND BEARING S 39°45'38" W TO A POINT OF TANGENCY; THENCE S 01°52'37" E 20.00 FEET TO A POINT OF CURVATURE; THENCE 25.80 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 132.67 FEET AND SUBTENDED BY A CHORD HAVING A LENGTH OF 25.76 FEET AND BEARING S 03°45'38" W TO A POINT OF REVERSE CURVATURE; THENCE 25.80 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 132.67 FEET AND BEARING S 03°45'38" W TO A POINT OF COMPOUND CURVATURE; THENCE 198.53 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 2,275.00 FEET AND SUBTENDED BY A CHORD HAVING A LENGTH OF 198.47 FEET AND BEARING S 04°22'37" E TO A POINT OF TANGENCY; THENCE S 06°52'37" E 100.32 FEET TO A POINT OF CURVATURE; THENCE 106.29 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 145.00 FEET AND SUBTENDED BY A CHORD HAVING A LENGTH OF 103.93 FEET AND BEARING S 27°52'37" E TO A POINT OF REVERSE CURVATURE; THENCE 107.19 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 193.14 FEET AND SUBTENDED BY A CHORD HAVING A LENGTH OF 214.65 FEET AND BEARING S 15°07'09" E; THENCE ALONG THE LINES OF A DRAINAGE EASEMENT AS RECORDED IN O.R. BOOK 108B, PAGE 1562 OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA RUN EAST 43.65 FEET; THENCE N 45°00'00" E 127.28 FEET; THENCE N 18°26'06" W 79.06 FEET; THENCE N 45°00'00" E 130.81 FEET; THENCE NORTH 90.33 FEET; THENCE N 46°52'37" W 365.90 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT, BEING PHASE I OF THE COLONY AT WIGGINS BAY, A CONDOMINIUM. CONTAINING 11.335 ACRES MORE OR LESS.

MORTGAGEE'S CONSENT

STATE OF FLORIDA COUNTY OF COLLIER (AS SUBSEQUENTLY MODIFIED AND AMENDED OF RECORD, INCLUDING UCC-1 FINANCING STATEMENTS) THE UNDERSIGNED HEREBY CERTIFIES THAT BANCFLOIDA, A FEDERAL SAVINGS BANK IS THE HOLDER OF CERTAIN MORTGAGES UPON THE HEREON DESCRIBED PROPERTY AND DOES HEREBY JOIN IN AND CONSENT TO THE DEDICATION OF THE LANDS DESCRIBED IN THE DEDICATION HERETO, BY THE OWNER THEREOF AND AGREES THAT ITS MORTGAGES WHICH ARE RECORDED IN O.R. BOOK 1023, PAGE 615; AND IN O.R. BOOK 1252, PAGE 1542; OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA.

IN WITNESS WHEREOF, THE UNDERSIGNED MORTGAGEE HAS CAUSED THIS CONSENT TO BE SIGNED THIS 16th DAY OF February 1994, A.D. ATTEST: [Signatures]

ACKNOWLEDGEMENT AS TO MORTGAGEE

STATE OF FLORIDA COUNTY OF COLLIER THE MORTGAGEE'S CONSENT WAS ACKNOWLEDGED BEFORE ME THIS 16th DAY OF February 1994, BY HOWARD L. HUNLOCK, VICE PRESIDENT OF BANCFLOIDA, A FEDERAL SAVINGS BANK, CORPORATION HE IS PERSONALLY KNOWN TO ME AND DID NOT TAKE AN OATH.

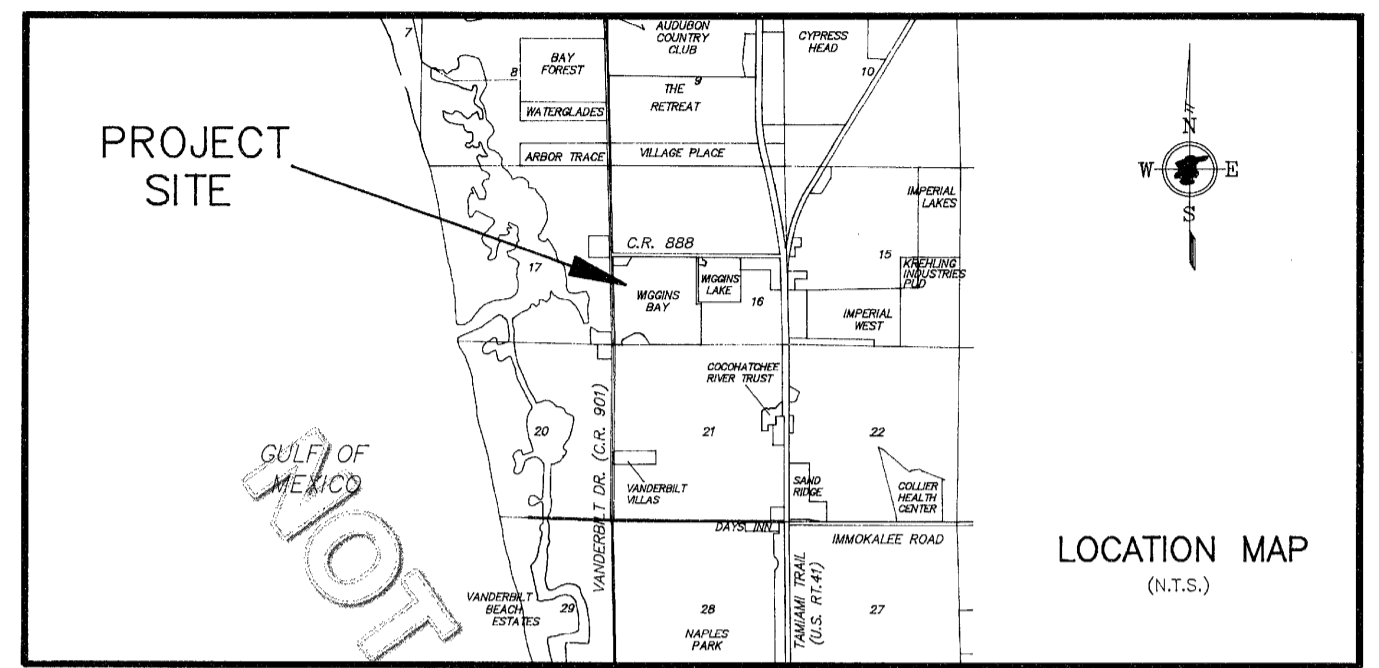
[Notary Public Signature and Seal: Jeffrey S. Kannensohn, CC 318175]

NOTICE :

THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

WIGGINS BAY VILLAS

BEING A SUBDIVISION OF A PORTION OF THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 48 SOUTH, RANGE 25 EAST, COLLIER COUNTY, FLORIDA.



DEDICATION

STATE OF FLORIDA COUNTY OF COLLIER KNOW ALL MEN BY THESE PRESENTS THAT DAVIS BOULEVARD SERVICE CORPORATION, A FLORIDA CORPORATION, AND THE OWNER OF THE LANDS DESCRIBED HEREON HAVE CAUSED THIS PLAT ENTITLED WIGGINS BAY VILLAS, TO BE MADE AND DOES HEREBY DEDICATE AS FOLLOWS:

- 1) TO COLLIER COUNTY WATER-SEWER DISTRICT - ALL COUNTY UTILITY EASEMENTS LABELED C.U.E. FOR PURPOSES OF INSTALLING AND MAINTAINING ITS FACILITIES
2) TO THE WIGGINS BAY CONDOMINIUM ASSOCIATION, INC., A NOT-FOR-PROFIT CORPORATION, FLORIDA POWER AND LIGHT COMPANY AND UNITED TELEPHONE COMPANY, ALL SPECIAL EASEMENTS (S.E.) FOR THE PURPOSE OF INSTALLATION AND MAINTENANCE OF THEIR RESPECTIVE FACILITIES.
3) TO WIGGINS BAY FOUNDATION, INC., A NOT-FOR-PROFIT CORPORATION, THE ROAD RIGHT-OF-WAY FOR WIGGINS BAY DRIVE (TRACT 9A) FOR INGRESS AND EGRESS PURPOSES, TRACT C FOR DRAINAGE AND CONSERVATION PURPOSES, AND TRACT D FOR DRAINAGE EASEMENT PURPOSES, ALL FOR THE USE AND BENEFIT OF ITS PRESENT AND FUTURE MEMBERS, ITS SUCCESSORS AND ASSIGNS, AND THEIR TENANTS, INVITEES, LICENSEES, MORTGAGEES, AND EMPLOYEES, AND WITH RESPONSIBILITY FOR THE MAINTENANCE; SUBJECT TO COUNTY UTILITY EASEMENTS AND LANDSCAPE BUFFER EASEMENTS RESERVED AS HEREIN PROVIDED.
4) TO COLLIER COUNTY, ALL DRAINAGE EASEMENTS (D.E.) WITH NO RESPONSIBILITY FOR MAINTENANCE.
5) TO COLLIER COUNTY, ITS FRANCHISES AND NORTH NAPLES FIRE CONTROL DISTRICT, ACCESS OVER ALL INGRESS AND EGRESS EASEMENTS AS SHOWN ON THIS PLAT FOR THE SOLE PURPOSE OF PERMITTING EMERGENCY AND OTHER SERVICE VEHICLES TO GAIN ACCESS TO ALL RESIDENCES AND FACILITIES.
6) TO THE WIGGINS BAY CONDOMINIUM ASSOCIATION, INC., A NOT-FOR-PROFIT CORPORATION, ALL DRAINAGE EASEMENTS (D.E.) EXCEPT TRACTS C AND D AND ALL LANDSCAPE BUFFER EASEMENTS, BOTH WITH MAINTENANCE RESPONSIBILITY.

LANDSCAPE BUFFER EASEMENT ARE NON-EXCLUSIVE EASEMENTS IN FAVOR OF THE WIGGINS BAY CONDOMINIUM ASSOCIATION, INC. FOR THE PURPOSE OF ENABLING THE ASSOCIATION TO FENCE, PLANT, RETAIN NATURAL VEGETATION AND/OR CONSTRUCT ENTRY WAY IMPROVEMENTS WITHIN THE LANDSCAPE BUFFER EASEMENT AREA.

7) TO COLLIER COUNTY, TRACT C A CONSERVATION EASEMENT / DRAINAGE EASEMENT TRACT, WITH NO RESPONSIBILITY FOR MAINTENANCE.

WITNESSES: OWNER: DAVIS BOULEVARD SERVICE CORPORATION, A FLORIDA CORPORATION. HOWARD L. HUNLOCK, VICE PRESIDENT (CORPORATE SEAL)

AS TO ITEM NO. 3 ABOVE WIGGINS BAY FOUNDATION, INC., A NOT-FOR-PROFIT CORPORATION, A FLORIDA CORPORATION

WITNESSES: [Signatures]

AS TO ITEMS NO. 2 AND 6 ABOVE WIGGINS BAY CONDOMINIUM ASSOCIATION, INC., A NOT-FOR-PROFIT CORPORATION, A FLORIDA CORPORATION

WITNESSES: [Signatures]

WAIVER AND RELEASE NOTE: ON THIS 21st DAY OF OCTOBER, 1994, A.D., DAVIS BOULEVARD SERVICE CORPORATION, A FLORIDA CORPORATION, EXECUTING THE DEDICATION, THE HOLDER OF APPARENT RECORD TITLE TO THE LAND, HAS FOR ITSELF AND SUCCESSORS IN TITLE OR INTERESTS EXPRESSLY WAIVED AND RELEASED FROM THE COUNTY, FROM ANY FUTURE CLAIMS OF VESTED RIGHTS AND EQUITABLE ESTOPPEL PERTAINING TO THE ISSUANCE OF PUBLIC FACILITY ADEQUACY IN ACCORDANCE WITH COLLIER COUNTY ORDINANCE NO. 90-24.

TITLE CERTIFICATION

STATE OF FLORIDA COUNTY OF COLLIER I, JEFFERY S. KANNENSOHN, A DULY LICENSED ATTORNEY IN THE STATE OF FLORIDA DOES HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE TO THE HEREON DESCRIBED PROPERTY AND FIND THE TITLE VESTED TO DAVIS BOULEVARD SERVICE CORPORATION, A FLORIDA CORPORATION, THAT THE CURRENT TAXES HAVE BEEN PAID; AND I FIND THAT THE PROPERTY IS ENCUMBERED BY THE MORTGAGES (AS SUBSEQUENTLY MODIFIED AND AMENDED OF RECORD), SHOWN HEREON AS RECORDED IN OFFICIAL RECORDS BOOK 1023, PAGE 615 AND IN O.R. BOOK 1252, PAGE 1542, OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA.

[Notary Public Signature and Seal: Jeffrey S. Kannensohn, February 22, 1994]

CORPORATE ACKNOWLEDGEMENT

STATE OF FLORIDA COUNTY OF COLLIER THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 16th DAY OF February 1994, BY HOWARD L. HUNLOCK, VICE PRESIDENT OF DAVIS BOULEVARD SERVICE CORPORATION, A FLORIDA CORPORATION. HE IS PERSONALLY KNOWN TO ME, AND DID NOT TAKE AN OATH.

[Notary Public Signature and Seal: Jeffrey S. Kannensohn, CC 318175]

CORPORATE ACKNOWLEDGEMENT

STATE OF FLORIDA COUNTY OF COLLIER THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 23rd DAY OF February 1994, BY HOWARD L. HUNLOCK, VICE PRESIDENT OF WIGGINS BAY FOUNDATION, INC., A FLORIDA CORPORATION. HE IS PERSONALLY KNOWN TO ME, AND DID NOT TAKE AN OATH.

[Notary Public Signature and Seal: Karen E. Kipp, CC 060510]

CORPORATE ACKNOWLEDGEMENT

STATE OF FLORIDA COUNTY OF COLLIER THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 23rd DAY OF February 1994, BY EUGENE THURSHMAN, PRESIDENT OF WIGGINS BAY CONDOMINIUM ASSOCIATION, INC., A FLORIDA CORPORATION. HE IS PERSONALLY KNOWN TO ME, AND DID NOT TAKE AN OATH.

[Notary Public Signature and Seal: Karen E. Kipp, CC 060510]

COUNTY APPROVALS

PROJECT PLAN REVIEW THIS PLAT APPROVED BY THE SITE DEVELOPMENT REVIEW DEPARTMENT OF COLLIER COUNTY, FLORIDA THIS 15th DAY OF February, 1994, A.D. [Signatures]

COUNTY HEALTH DEPARTMENT THIS PLAT APPROVED BY THE COLLIER COUNTY HEALTH DEPARTMENT THIS 22nd DAY OF February 1994, A.D. WITH CONNECTION TO CENTRAL WATER AND SEWERAGE SYSTEM; AND NO INDIVIDUAL POTABLE WATER WELLS OR INDIVIDUAL SEWAGE SYSTEMS ARE PERMITTED. [Signatures]

COUNTY UTILITY DIVISION THIS PLAT APPROVED BY THE COLLIER COUNTY UTILITY DIVISION THIS 28th DAY OF Feb. 1994, A.D. [Signatures]

COUNTY ATTORNEY THIS PLAT APPROVED BY THE COLLIER COUNTY ATTORNEY THIS 16th DAY OF March, 1994, A.D. [Signatures]

COUNTY COMMISSION APPROVAL

THIS PLAT APPROVED FOR RECORDING IN A REGULAR OPEN MEETING BY THE BOARD OF COUNTY COMMISSIONERS OF COLLIER COUNTY, FLORIDA THIS 15th DAY OF February, 1994, A.D. PROVIDED THAT THIS PLAT IS FILED IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT OF COLLIER COUNTY, FLORIDA. [Signatures]

FILING RECORD

I HEREBY CERTIFY THAT THIS PLAT HAS BEEN EXAMINED BY ME AND THAT IT COMPLIES IN FORM WITH THE REQUIREMENTS OF CHAPTER 177, LAWS OF THE STATE OF FLORIDA. I FURTHER CERTIFY THAT SAID PLAT WAS FILED FOR RECORD AT 2:08 PM THIS 21st DAY OF March, 1994, A.D., AND DULY RECORDED IN PLAT BOOK 22, PAGES 74 THROUGH 79 OF THE PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA. [Signatures]

GENERAL NOTES

- 1. ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
2. UNLESS OTHERWISE NOTED ALL CURVES ARE TANGENTIAL AND CIRCULAR
3. [Symbol] INDICATES PERMANENT REFERENCE MONUMENTS (P.R.M.'S) FOUND. [Symbol] INDICATES PERMANENT REFERENCE MONUMENTS (P.R.M. # 2982) SET.
4. (D.E.) INDICATES DRAINAGE EASEMENT.
5. (C.U.E.) INDICATES WATER/SEWER EASEMENT TO COLLIER COUNTY WATER/SEWER DISTRICT.
6. BEARINGS ARE ASSUMED AND BASED ON THE SOUTH RIGHT-OF-WAY OF WIGGINS PASS ROAD BEING S.88°07'23"W.
7. THE CONSERVATION EASEMENT / DRAINAGE EASEMENT TRACT (TRACT C) SHALL BE THE PERPETUAL RESPONSIBILITY OF WIGGINS BAY CONDOMINIUM ASSOCIATION, INC. AND MAY IN NO WAY BE ALTERED FROM THEIR NATURAL STATE AS DOCUMENTED IN PERMIT FILE, WITH THE EXCEPTION OF PERMITTED RESTORATION ACTIVITIES. ACTIVITIES PROHIBITED WITHIN THE CONSERVATION EASEMENT INCLUDE, BUT ARE NOT LIMITED TO: CONSTRUCTION OR PLACING SOIL OR OTHER SUBSTANCES SUCH AS TRASH; REMOVAL OR DESTRUCTION OF TREES, SHRUBS, OR OTHER VEGETATION - WITH THE EXCEPTION OF EXOTIC / NUISANCE VEGETATION REMOVAL; EXCAVATION, DREDGING, OR REMOVAL OF DRAINAGE, FLOOD CONTROL, WATER CONSERVATION, EROSION CONTROL, OR FISH AND WILDLIFE HABITAT CONSERVATION OR PRESERVATION.

SURVEYOR'S CERTIFICATE

IT IS HEREBY CERTIFIED THAT THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY BY ME OR UNDER MY SUPERVISION AS PROVIDED IN RULE 61017-6 FLORIDA ADMINISTRATIVE CODE AND CHAPTER 472 OF THE FLORIDA STATUTES. IT IS FURTHER CERTIFIED THAT THE SURVEY DATA SHOWN HEREON COMPLIES WITH THE REQUIREMENTS OF CHAPTER 177 OF THE FLORIDA STATUTES, AND THAT THE PERMANENT REFERENCE MONUMENTS (P.R.M.'S) SHALL BE SET PRIOR TO THE DATE THIS INSTRUMENT IS RECORDED. DATE: 2/17/94 BY: A. TRIGO P.L.S. # 2982 STATE OF FLORIDA THIS INSTRUMENT PREPARED BY: A. TRIGO P.L.S. #2982 A. TRIGO & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS & PLANNERS 1033 FIFTH AVENUE, NORTH NAPLES, FLORIDA 33940

WIGGINS BAY VILLAS

BEING A SUBDIVISION OF A PORTION OF THE SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 48 SOUTH, RANGE 25 EAST, COLLIER COUNTY, FLORIDA.

CURVE TABLE

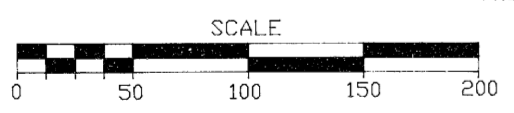
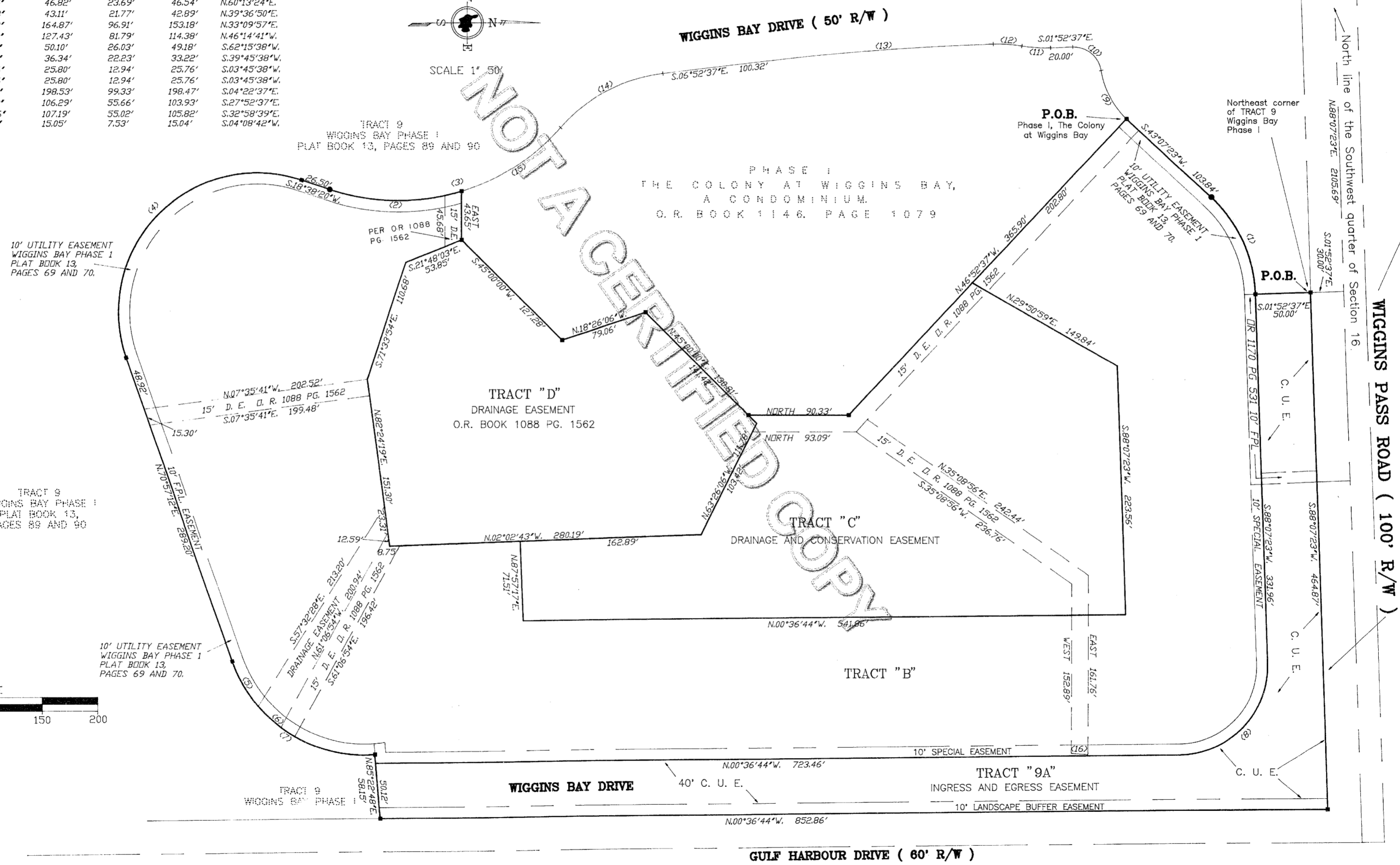
NO.	RADIUS	DELTA	ARC	TANGENT	CHORD	CHORD BEARING
1	125.00'	45°00'00"	98.17'	51.78'	95.67'	S.65°37'23"W.
2	193.14'	35°43'01"	120.40'	62.23'	118.46'	S.00°46'50"W.
3	193.14'	67°30'57"	227.59'	129.09'	214.65'	S.15°07'08"E.
4	125.00'	127°41'08"	278.57'	254.51'	224.40'	S.45°12'14"E.
5	125.00'	21°27'35"	46.82'	23.69'	46.54'	N.60°13'24"E.
6	125.00'	19°45'33"	43.11'	21.77'	42.89'	N.39°36'50"E.
7	125.00'	75°34'28"	164.87'	96.91'	153.18'	N.33°09'57"E.
8	80.00'	91°15'53"	127.43'	81.79'	114.38'	N.46°14'41"W.
9	75.00'	38°16'31"	50.10'	26.03'	49.18'	S.62°15'38"W.
10	25.00'	83°16'31"	36.34'	22.23'	33.22'	S.39°45'38"W.
11	132.67'	11°08'26"	25.80'	12.94'	25.76'	S.03°45'38"W.
12	132.67'	11°08'26"	25.80'	12.94'	25.76'	S.03°45'38"W.
13	2275.00'	05°00'00"	198.53'	99.33'	198.47'	S.04°22'37"E.
14	145.00'	42°00'00"	106.29'	55.66'	103.93'	S.27°52'37"E.
15	193.14'	31°47'56"	107.19'	55.02'	105.82'	S.32°58'39"E.
16	155.00'	5°33'46"	15.05'	7.53'	15.04'	S.04°08'42"W.



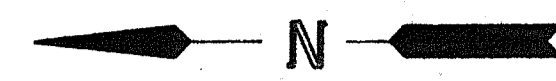
SCALE 1" = 50'

POINT OF COMMENCEMENT

Found Iron Pin (no ID)
West quarter corner of Section 16,
Township 48 South, Range 25 East,
Collier County, Florida.



NOT A CERTIFIED COPY



SCALE: 1" = 50'

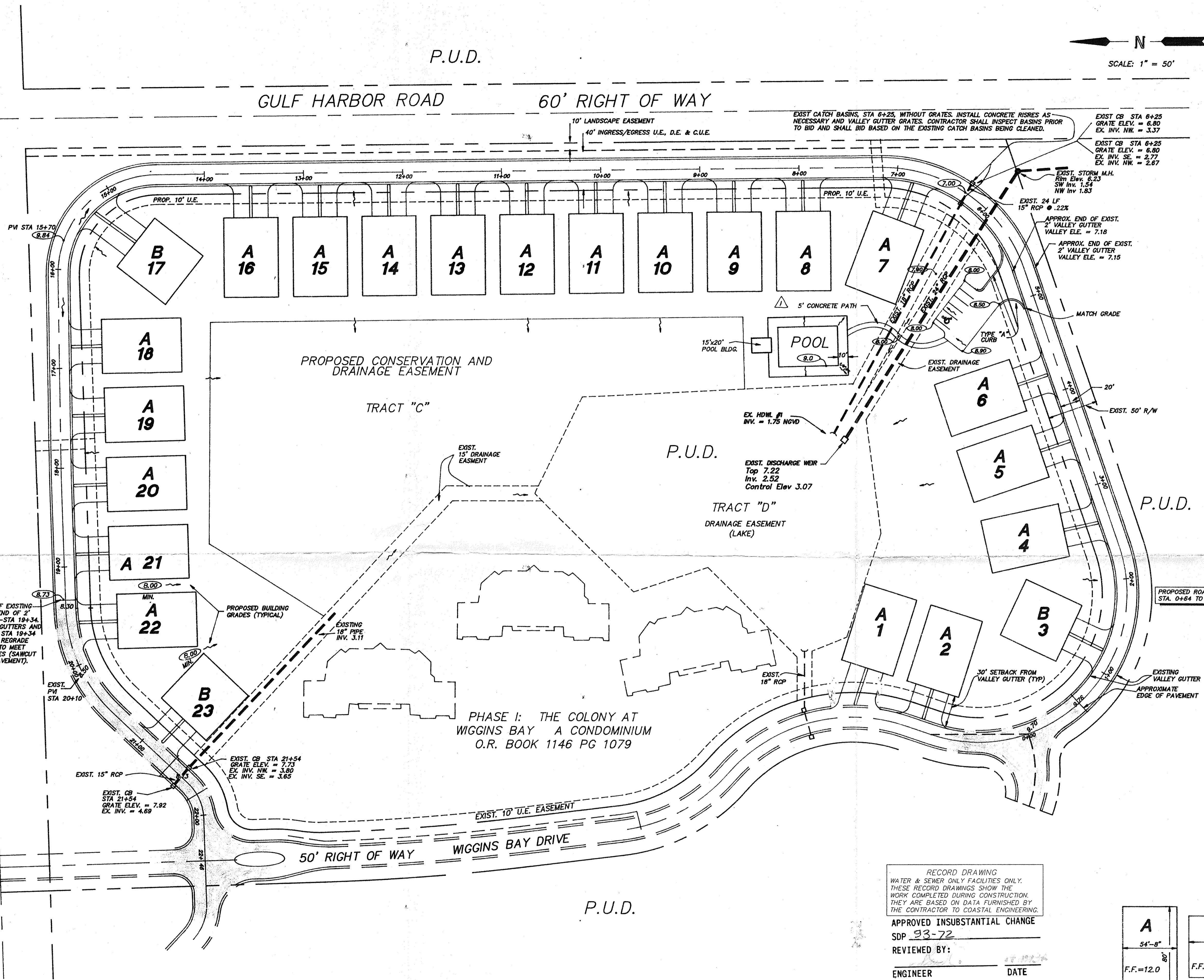
PAVING SPECIFICATIONS

1. Stabilized subgrade shall have a minimum limerock bearing ratio (LBR) of 40. All material shall be capable of passing through a 3-1/2" sieve.
2. Subgrade material shall be compacted to 98% maximum density as determined by field tests taken in each lift at spacing not greater than 200 feet. The Contractor is responsible for contracting with a licensed geotechnical firm and will forward copies of all test results to the Engineer.
3. Limerock base course material shall meet requirements of Section 911, Florida DOT Standards Specifications for Road and Bridge Construction. Material shall have a minimum LBR of 90 and average LBR of 100. At least 97% of material shall pass 3-1/2" sieve.
4. Limerock base shall be compacted to 98% maximum density.
5. Prime coat shall be applied to limerock base. Material shall be cut-back asphalt, grades RC-70 or RC-250, or emulsified asphalt, grade RS-2 applied between 100° F and 150° F at a rate of 0.10 gal/sy/sq. yd.
6. Asphaltic concrete shall comply with Section 331 of Florida DOT Standard Specifications.
7. Contractor shall provide one copy of all density tests to Engineer.
8. All on-site paving, grading and drainage facilities to be maintained by Owner.
9. All road construction shall comply with the FDOT Standard Specifications for Road and Bridge Construction 1981.

NOTES:

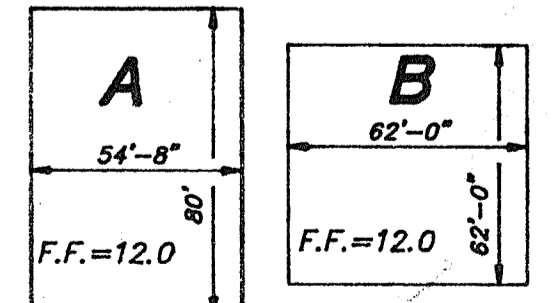
1. ALL TRAFFIC CONTROL DEVICES, INCLUDING SIGNS AND PAVEMENT MARKING, SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION.
2. ϕ DENOTES EXISTING GRADE
3. ϕ DENOTES PROPOSED GRADE
4. PROPOSED GRADES SHOWN ARE FINISHED GRADES AND REFER TO TOP OF PAVEMENT, SOO OR LANDSCAPING.
5. DURING CONSTRUCTION, CONTRACTOR SHALL KEEP ALL CATCH BASINS AND STORM SEWER CLEAR OF DEBRIS. UPON COMPLETION, CONTRACTOR SHALL CLEAR AND CLEAN ENTIRE STORM SEWER SYSTEM AS NECESSARY.
6. ALL EXOTIC VEGETATION, AS DEFINED BY COUNTY CODE, SHALL BE REMOVED FROM THE SITE, AND THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR SUBSEQUENT ANNUAL EXOTIC REMOVAL.
7. THE WIGGINS BAY VILLAS PROPERTY OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR SITE MAINTENANCE INCLUDING THE STORMWATER MANAGEMENT SYSTEM.
8. SITE GEOMETRY PLAN AND CURVE DATA SHALL BE PROVIDED BY: A. TRIGO & ASSOCIATES, INC.

WIGGINS PASS ROAD
100' RIGHT OF WAY



RECORD DRAWING
WATER & SEWER ONLY FACILITIES ONLY.
THESE RECORD DRAWINGS SHOW THE
WORK COMPLETED DURING CONSTRUCTION.
THEY ARE BASED ON DATA FURNISHED BY
THE CONTRACTOR TO COASTAL ENGINEERING.

APPROVED INSUBSTANTIAL CHANGE
SDP 93-72
REVIEWED BY: _____
ENGINEER DATE



TYPICAL UNITS
COASTAL ENGINEERING CONSULTANTS, INC.
NOV 14 1994

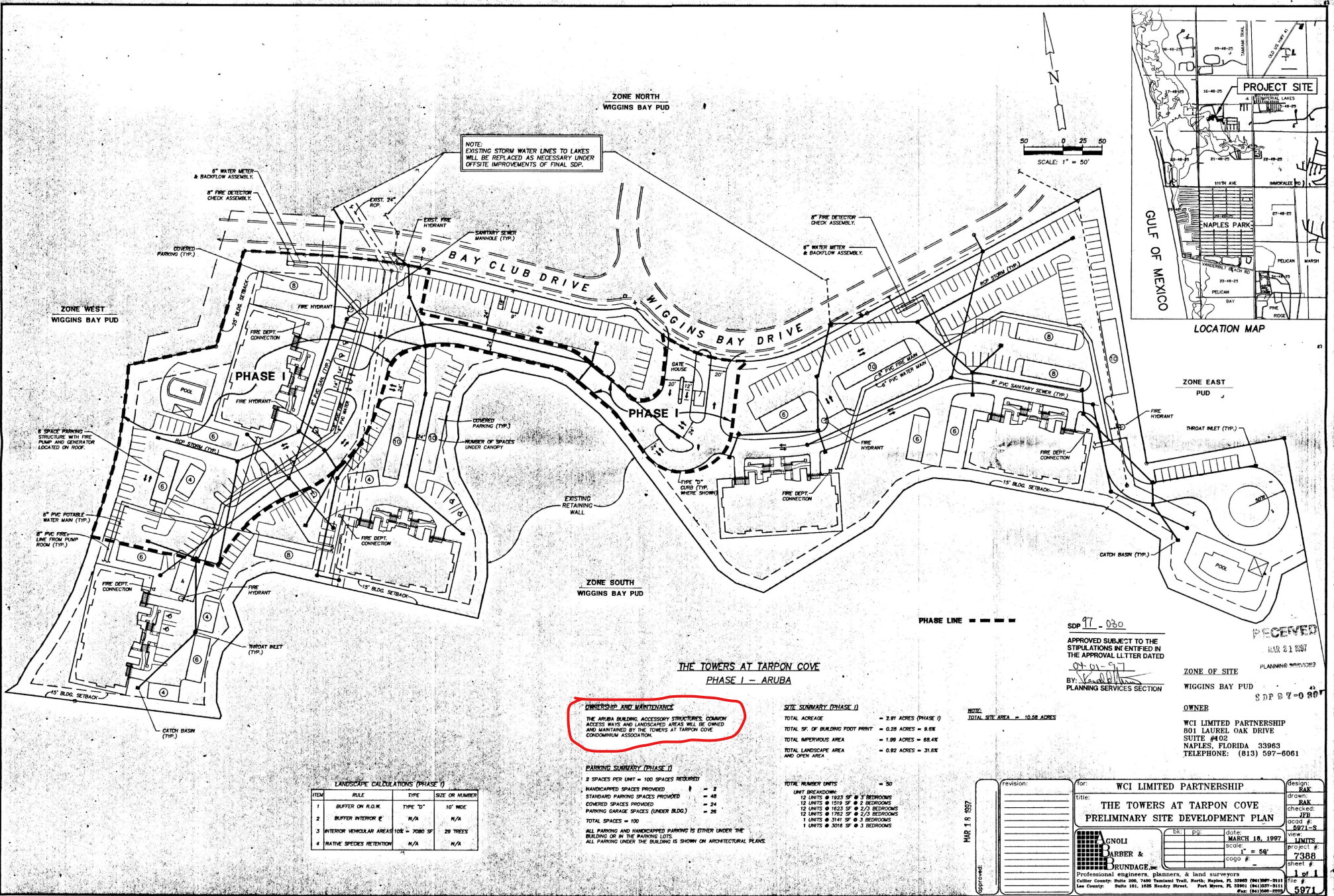
SCALE: 1" = 50'	DATE: NOV. 1993
TOWNSHIP 48 S	RANGE 25 E
SECTION 16	
SHEET 4 OF 7	
FILE NO. 93.215-4	

DESIGNED: BAF	DRAWN: ACAD/RP/MP	CHECKED: JAD	ACAD NO. 3215DRM	PROJECT NO. 93.215
1 Dec. 92	BAF	Per Collier County Project Plan Review	F.B.	PG.
NO. DATE BY				

COASTAL ENGINEERING CONSULTANTS, INC.
COASTAL & CIVIL ENGINEERS * PLANNERS * SURVEYORS * GEOLOGISTS
3106 SOUTH HORSESHOE DR. * NAPLES FLA. 33942 * (813) 643-2324 * FAX (813) 643-1143

CLIENT	WIGGINS BAY VILLAS, INC.
TITLE	WIGGINS BAY VILLAS
MASTER PAVING, GRADING & DRAINAGE PLAN	

APPENDIX IV



THE TOWERS AT TARPON COVE
PHASE I - ARUBA

OWNERSHIP AND MAINTENANCE
THE ARUBA BUILDING, ACCESSORY STRUCTURES, COMMON ACCESS WAYS AND LANDSCAPED AREAS WILL BE OWNED AND MAINTAINED BY THE TOWERS AT TARPON COVE CONDOMINIUM ASSOCIATION.

SITE SUMMARY (PHASE I)
TOTAL ACREAGE = 2.91 ACRES (PHASE I)
TOTAL SQ. FT. OF BUILDING FOOT PRINT = 6,28 ACRES = 8.8 AC
TOTAL IMPROVED AREA = 1.99 ACRES = 68.4 AC
TOTAL LANDSCAPE AREA AND OPEN AREA = 0.92 ACRES = 31.6 AC

PARKING SUMMARY (PHASE I)
2 SPACES PER UNIT = 100 SPACES REQUIRED
HANDICAPPED SPACES PROVIDED = 2
STANDARD PARKING SPACES PROVIDED = 48
COVERED SPACES PROVIDED = 24
PARKING GARAGE SPACES (UNDER BLDG) = 28
TOTAL SPACES = 100
ALL PARKING AND HANDICAPPED PARKING IS EITHER UNDER THE BUILDING OR IN THE PARKING LOTS
ALL PARKING UNDER THE BUILDING IS SHOWN ON ARCHITECTURAL PLANS

TOTAL NUMBER UNITS = 30
UNIT BREAKDOWN:
12 UNITS @ 1523 SF @ 3 BEDROOMS
12 UNITS @ 1519 SF @ 2 BEDROOMS
12 UNITS @ 1523 SF @ 2 1/2 BEDROOMS
12 UNITS @ 1762 SF @ 2 1/2 BEDROOMS
1 UNITS @ 3141 SF @ 3 BEDROOMS
1 UNITS @ 3016 SF @ 3 BEDROOMS

LANDSCAPE CALCULATIONS (PHASE I)

ITEM	RULE	TYPE	SIZE OR NUMBER
1	BUFFER ON R.O.M.	TYPE "D"	10" MDC
2	BUFFER INTERIOR E	N/A	N/A
3	INTERIOR VEGETAR AREAS	100 - 7080 SF	29 TREES
4	NATIVE SPECIES RETENTION	N/A	N/A

SDP 17-030
APPROVED SUBJECT TO THE STIPULATIONS INTENTIFIED IN THE APPROVAL LLITTER DATED 04-01-97
BY: [Signature]
PLANNING SERVICES SECTION

RECEIVED
MAR 21 1997
PLANNING SERVICES SECTION
ZONE OF SITE
WIGGINS BAY PUD
OWNER
WCI LIMITED PARTNERSHIP
801 LAUREL OAK DRIVE
SUITE #402
NAPLES, FLORIDA 33963
TELEPHONE: (813) 597-0861

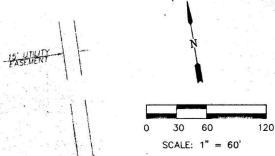
MAR 18 1997

revision: _____

FOR: WCI LIMITED PARTNERSHIP
Title: THE TOWERS AT TARPON COVE
PRELIMINARY SITE DEVELOPMENT PLAN

design: BAK
drawn: BAK
checked: FEB
date: 02/71-S
limits: 5971-S
project #: 7388
sheet #: 1 of 1
file # 5971

AGNOLI
BARBER &
BRUNDAGE, INC.
Professional engineers, planners, & land surveyors
Collier County Suite 200, 7400 Tamiami Trail, North Naples, FL 33963 (813) 597-9111
Lee County Suite 141, 1658 Hensley Street, Fort Myers, FL 33901 (813) 597-9111
Fax: (813) 597-9111



TRACT 2B

OWNERSHIP AND MAINTENANCE
 EACH CONDOMINIUM AND ASSOCIATED ACCESSORY STRUCTURES WILL BE OWNED AND MAINTAINED BY THAT PARTICULAR CONDOMINIUM ASSOCIATION.
 WATER MANAGEMENT SYSTEM, COMMON ACCESS WAYS AND LANDSCAPED AREAS OUTSIDE OF THE CONDOMINIUM AREAS WILL BE OWNED AND MAINTAINED BY THE TOWERS AT TARPON COVE MASTER ASSOCIATION.

TABLE B: LAND USE DESCRIPTION (REMAINING 5.91 ACRES IN BASIN I)

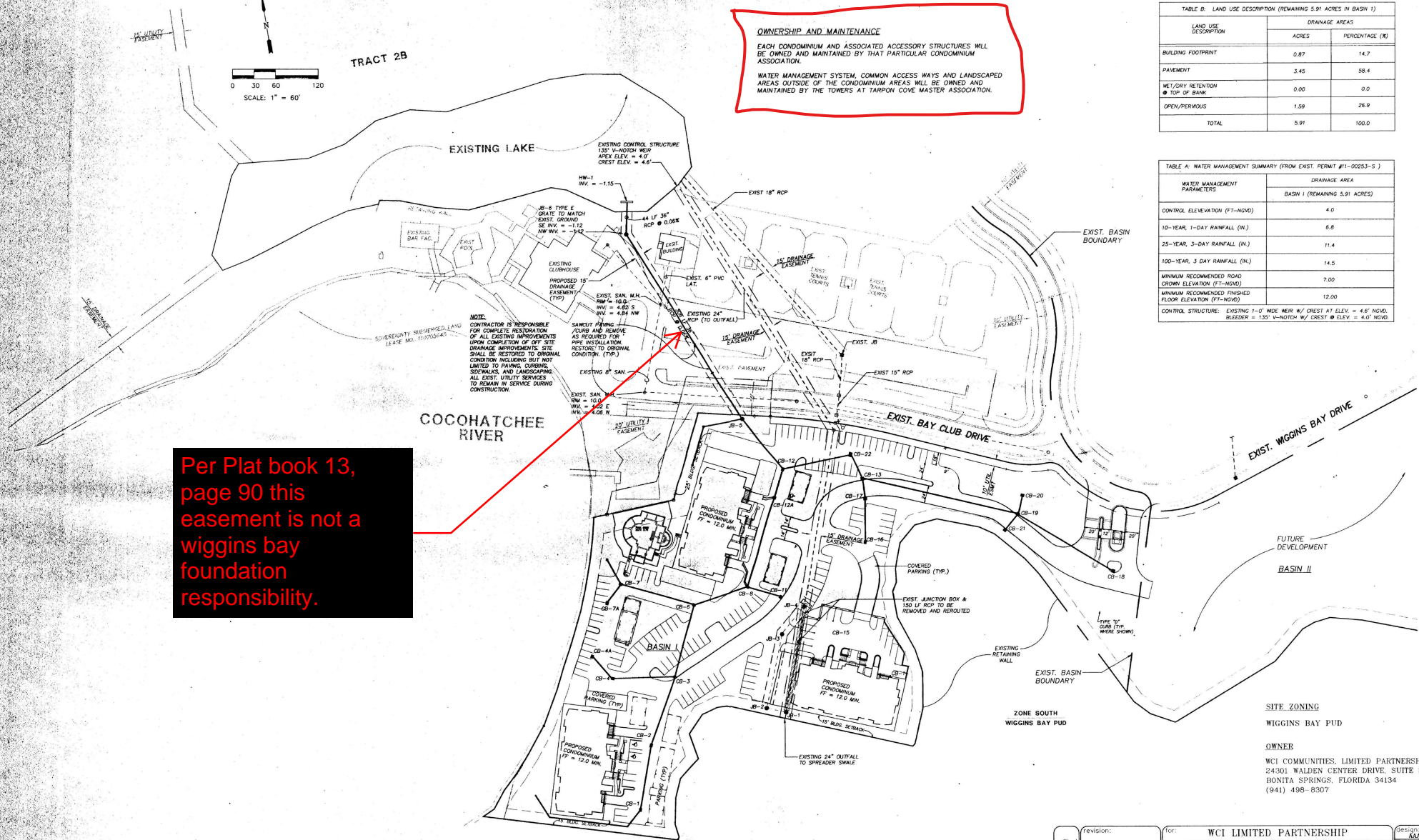
LAND USE DESCRIPTION	DRAINAGE AREAS	
	ACRES	PERCENTAGE (%)
BUILDING FOOTPRINT	0.87	14.7
PAVEMENT	3.45	58.4
WET/DRY RETENTION ● TOP OF BANK	0.00	0.0
OPEN/PERVIOUS	1.59	26.9
TOTAL	5.91	100.0

TABLE A: WATER MANAGEMENT SUMMARY (FROM EXIST. PERMIT #11-00253-S)

WATER MANAGEMENT PARAMETERS	DRAINAGE AREA	
	BASIN I (REMAINING 5.91 ACRES)	
CONTROL ELEVATION (FT-NGVD)	4.0	
10-YEAR, 1-DAY RAINFALL (IN)	6.8	
25-YEAR, 3-DAY RAINFALL (IN)	11.4	
100-YEAR, 3 DAY RAINFALL (IN)	14.5	
MINIMUM RECOMMENDED ROAD CROWN ELEVATION (FT-NGVD)	7.00	
MINIMUM RECOMMENDED FINISHED FLOOR ELEVATION (FT-NGVD)	12.00	
CONTROL STRUCTURE: EXISTING 1'-0" WIDE WEIR W/ CREST AT ELEV. = 4.6' NGVD. BLEEDER = 1'-3" V-NOTCH W/ CREST @ ELEV. = 4.0' NGVD.		

NOTE: CONTRACTOR IS RESPONSIBLE FOR COMPLETE RESTORATION OF ALL EXISTING IMPROVEMENTS UPON COMPLETION OF OFF SITE DRAINAGE IMPROVEMENTS. SITE SHALL BE RESTORED TO ORIGINAL CONDITION INCLUDING BUT NOT LIMITED TO PAVING, CURBS, SIDEWALKS, AND LANDSCAPING. ALL EXIST. UTILITY SERVICES TO REMAIN IN SERVICE DURING CONSTRUCTION.

Per Plat book 13, page 90 this easement is not a wiggins bay foundation responsibility.



SITE ZONING
WIGGINS BAY PUD

OWNER
 WCI COMMUNITIES, LIMITED PARTNERSHIP
 24301 WALDEN CENTER DRIVE, SUITE 300
 BONITA SPRINGS, FLORIDA 34134
 (941) 498-8307

approved: DATE: 11/1998	revision: _____ _____ _____	for: WCI LIMITED PARTNERSHIP title: THE COVE TOWERS THE BEQUIA - PHASE 2 MASTER WATER MANAGEMENT PLAN	design: AAA drawn: AAA checked: FJB coord: M 6748-11
	 GNOLI BARBER & BRUNDAGE, INC. Professional engineers, planners, & land surveyors 10001 County Trail, Suite 200, 7408 Sandhill Trail, North Naples, FL 33963 (941) 597-3111 Lee County, Suite 101, 1625 Broadway Street, Fort Myers, FL 33901 (941) 937-3111 Fax: (941) 598-2255	date: JULY 1, 1998 scale: 1" = 60' project #: 7680 sheet #: 2 of 9 6749	

GENERAL NOTES:

- 1. THE COVE TOWERS MASTER ASSOCIATION WILL BE RESPONSIBLE FOR ANNUAL EXOTIC VEGETATION REMOVAL.
- 2. ALL EXOTIC IMPROVEMENTS SHALL BE OWNED AND MAINTAINED BY THE COVE TOWERS MASTER ASSOCIATION OR CARIBE CONDOMINIUM ASSOCIATION, INCLUDING WATER AND SEWER FACILITIES.
- 3. ALL CONCRETE LANDSCAPING, STONE, GRAVEL, ETC. SHALL BE RESTORED TO EQUIVALENT PRE-CONSTRUCTION CONDITIONS UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- 4. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION AND SHALL COORDINATE FLAGGING OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANIES.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL UTILITY LINES AND SERVICES DAMAGED DURING CONSTRUCTION, INCLUDING IRRIGATION LINES AND SERVICES. THE APPROPRIATE UTILITY SHALL BE NOTIFIED OF ALL DAMAGED LINES PRIOR TO REPAIR. ALL NECESSARY REPAIRS SHALL BE PERFORMED IMMEDIATELY.
- 6. THE SITE HAS PREVIOUSLY BEEN CLEARED AND FILLED. NO CLEARING IS REQUIRED FOR THE PROPOSED DEVELOPMENT.
- 7. ALL EXOTIC VEGETATION AS DEFINED BY COUNTY CODE, SHALL BE REMOVED FROM THE SITE. THE APPROPRIATE OWNER SHALL BE RESPONSIBLE FOR SUBSEQUENT ANNUAL EXOTIC VEGETATION REMOVAL, IN PERPETUITY.

DRAINAGE AND PAVING NOTES (SEE DETAIL SHEET 6 OF 8):

- 1. PROVIDE 60PSI SIGN PER AASHTO STANDARDS. SIGNAGE SHALL ALSO COMPLY WITH BAY COLONY MASTER SIGNAGE THEME. STOP SIGNS WILL NOT BE REQUIRED IN PARKING AREAS.
- 2. ROF WITH LESS THAN 1% COVER UNDER PAVEMENT SHALL BE CLASS #2 WALL. ALL OTHER ROF SHALL BE CLASS #3 WALL.
- 3. FINAL POSITION AND SIZE OF CONNECTIONS TO BUILDING TO BE COORDINATED BETWEEN MECHANICAL ENGINEER AND CONTRACTOR.
- 4. ALL COMPOSITE DRAINS, ROOF DRAINS, AND AREA DRAINS 4" AND SMALLER SHALL BE PVC COATED 40 MIN. GRADE FITTINGS SHOWING COVERED SPOUTS. REFERENCE SANITARY SEWER DETAIL FOR CONSTRUCTION OF CLEAN-OUTS SHOWN ON THIS SHEET.
- 5. THERE SHALL BE A MINIMUM OF 1" SEPARATION AT CONTACTS BETWEEN GRANITE SEWER AND STORM DRAIN (SANDWICH SAND). BE COMPLETE CHECKS TO BOTH SIZES OF CONTACT WITH SEPARATION LESS THAN 1" OF SEPARATION SHALL BE REQUIRED. WHERE EITHER SIZES CROSS SANDWICH SEWER TO STORM DRAIN.
- 6. LAMPPOST BASE AND SURROUND SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 3.1 ARTICLE 2 OF THE TECHNICAL SPECIFICATIONS.
- 7. INSTALL TYPE D CURB - SEE DETAIL ON SHEET 6 OF 8.
- 8. ALL CATCH BASINS AND INTERIOR ENDS SHALL HAVE TEMPORARY RAISE FILTERS (SEE DETAILS).
- 9. DRAINAGE SWEEPERS - COVERED WITH GRANITE. PROVIDE DETAILS FOR DETAILS. FINAL CONSTRUCTION PATTERN AND MATERIALS MAY VARY.
- 10. REFER TO LANDSCAPE PLANS FOR SITE DRAINAGE DRAINAGE, INCLUDING AND PARKING AREAS.
- 11. FINAL POSITION OF BUILDING DRAINAGE CONNECTIONS TO BE COORDINATED WITH FINAL ARCHITECTURAL, MECHANICAL AND ELECTRICAL BUILDING PLANS.
- 12. ALL PROPOSED PAVEMENT ELEVATIONS SHOWN IN AREAS ADJACENT TO CURBING REFER TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

EROSION CONTROL NOTES (SEE DETAIL SHEET 7 OF 8):

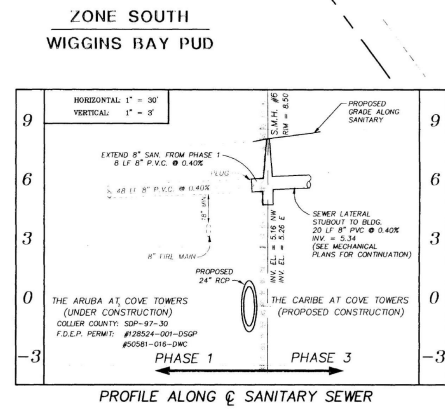
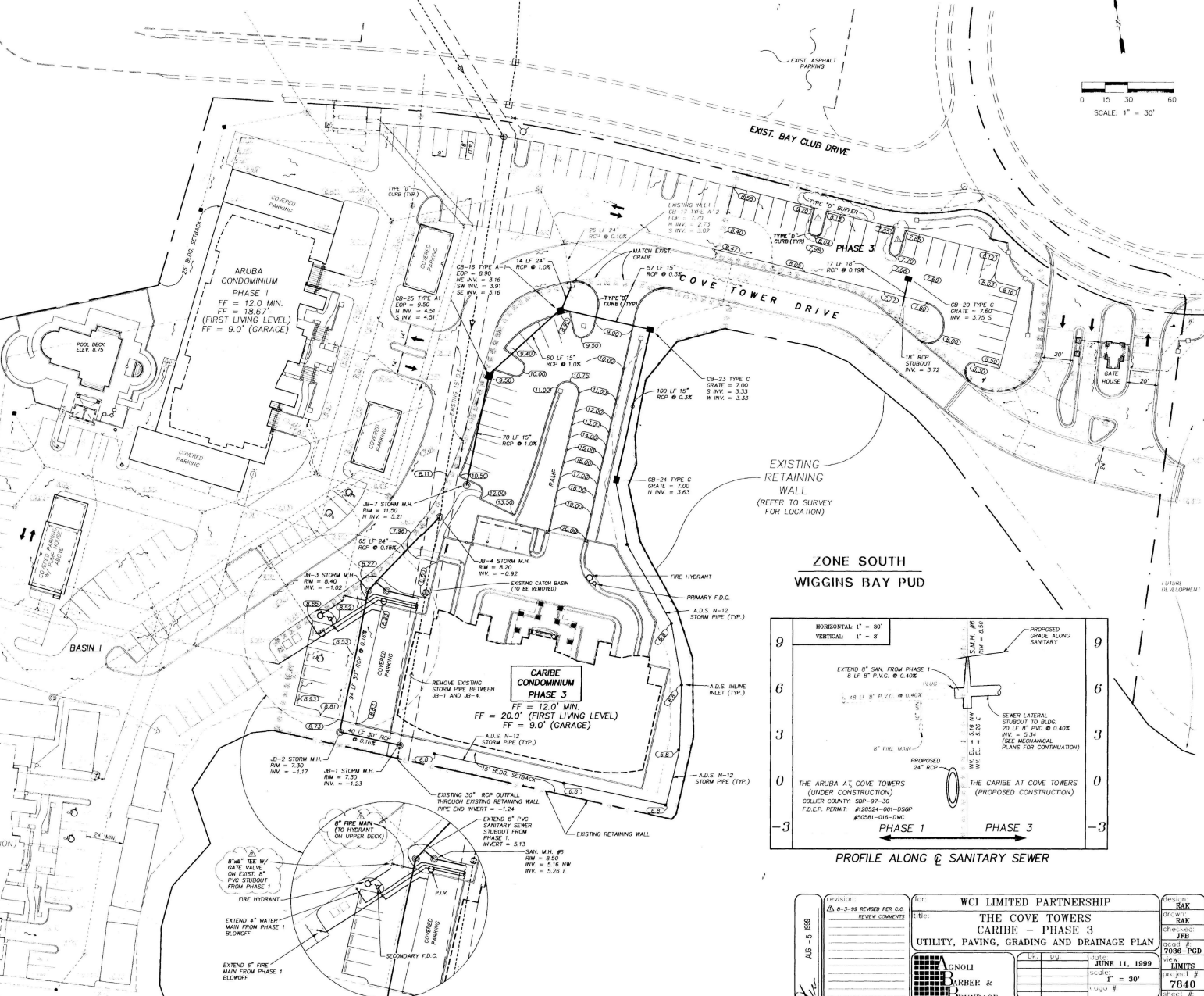
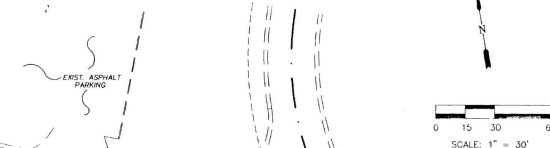
- 1. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE EXISTING EROSION CONTROL STRUCTURES TO THE METAD AREA. CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION CONTROL STRUCTURES AS NEEDED TO PREVENT TYPICAL DISCHARGES INTO THE METAD AREA.
- 2. PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES, APPROPRIATE EROSION CONTROL DEVICES SHALL BE INSTALLED TO CONTROL AND REDUCE SOIL EROSION AND SEDIMENT TRANSPORT TO OFF-SITE AREAS. THE CONTRACTOR SHALL MAINTAIN THESE DEVICES THROUGHOUT THE DURATION OF CONSTRUCTION. ALL DEVICES SHALL BE MAINTAINED IN PLACE UNTIL THE SURROUNDING AREA AND VEGETATION IS RESTORED TO PRE-CONSTRUCTION CONDITIONS.
- 3. THE FOLLOWING MINIMUM REQUIREMENTS ARE RECOMMENDED:
 - A. 100% EROSION CONTROL DURING CONSTRUCTION OUTRIGGER
 - B. 100% EROSION CONTROL DURING CONSTRUCTION OUTRIGGER
 - C. 100% EROSION CONTROL DURING CONSTRUCTION OUTRIGGER
- 4. REFER TO EROSION CONTROL MANUAL, FDC P. 6-301 TO 6-303.

SANITARY SEWER NOTES (SEE DETAIL SHEET 4 OF 8):

- 1. THE LOCATION OF EXISTING UTILITIES AND NEW PROPOSED FROM THE MOST RECENT UTILITIES AVAILABLE TO THE ENGINEER. THE INFORMATION IS NOT GUARANTEED. THEREFORE, THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTHS OF ALL UTILITIES IN THE FIELD.
- 2. ALL SANITARY SEWER LATERALS TO BE 1" UNLESS OTHERWISE SPECIFIED AND ENDS TO BE MARKED WITH ELECTRIC MARKERS. CLEAN-OUTS AT SERVICE CONNECTIONS TO BE COORDINATED BY PLUMBING CONTRACTOR. FINAL POSITION AND SIZE OF CONNECTIONS TO BE COORDINATED WITH MECHANICAL ENGINEER AND CONTRACTOR.
- 3. THERE SHALL BE A MINIMUM OF 1" SEPARATION AT CONTACTS BETWEEN GRANITE SEWER AND STORM DRAIN (SANDWICH SAND). BE COMPLETE CHECKS TO BOTH SIZES OF CONTACT WITH SEPARATION LESS THAN 1" OF SEPARATION SHALL BE REQUIRED. WHERE EITHER SIZES CROSS SANDWICH SEWER TO STORM DRAIN.
- 4. FINAL POSITION OF SANITARY LATERALS TO BE COORDINATED WITH FINAL ARCHITECTURAL AND MECHANICAL BUILDING PLANS.

WATER MAIN NOTES (SEE DETAIL SHEET 5 OF 8):

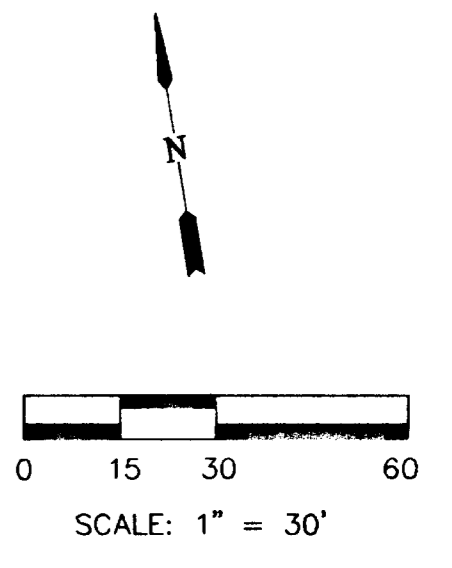
- 1. SEE SPECIAL DETAILS FOR UNDERGROUND PIPING AND IDENTIFICATION TAPE REQUIREMENTS ON SHEET 5 OF 8.
- 2. PROPOSED UTILITY EASEMENT (CUE) TO BE DEPOSITED TO COLLIER COUNTY AT THE TIME OF UTILITY SYSTEM COMPLETION.
- 3. CONNECT TO EXIST. F.P. STUBOUT AT 4" GATE VALVE. CONTRACTOR TO USE TEMPORARY CONSTRUCTION METERS AND BACKFLOW PREVENTER PER DETAILS.
- 4. POTABLE WATER TO HAVE MINIMUM COVER OF 36" UNDER PAVEMENT. ALL FIRE WATS SHALL BE PER COUNTY CODE. POTABLE WATER TO BE 18" UNDER PAVEMENT. ALL FIRE WATS EXTENDING TO EXISTING SIDE OF PAVEMENT TO BE 18" UNDER PAVEMENT. ALL FIRE WATS EXTENDING TO NEW SIDE OF PAVEMENT TO BE 18" UNDER PAVEMENT. ALL POTABLE WATER WATS 4" DIA. OR LARGER SHALL BE 18" UNDER PAVEMENT. ALL POTABLE WATER WATS LESS THAN 4" DIA. SHALL BE COVERABLE BY PVC CONFORMING TO AASHTO STANDARDS.
- 5. SELECT WATER LINES AS NECESSARY TO CLEAR CONTACT. MAINTAIN MINIMUM COVER AS SPECIFIED IN NOTE 5 ABOVE. ANNUAL GENERAL CLEANANCE SHALL BE 1" BETWEEN ALL INTERIOR AND STORM DRAIN LINES.
- 6. ALL FITTINGS USED TO ACHIEVE VERTICAL SECTIONS SHALL BE REINFORCED. THUNDER BOLT SHALL ONLY BE USED BY IRON SOIL.
- 7. USE COLLIER COUNTY GAP COMPENSATION FOR TEMPORARY TIE-IN OF WATER SYSTEM. A TEMPORARY EACH FLOW ASSEMBLY MAY BE REQUIRED AT POINT OF LOCAL FIRE DISTRICT.



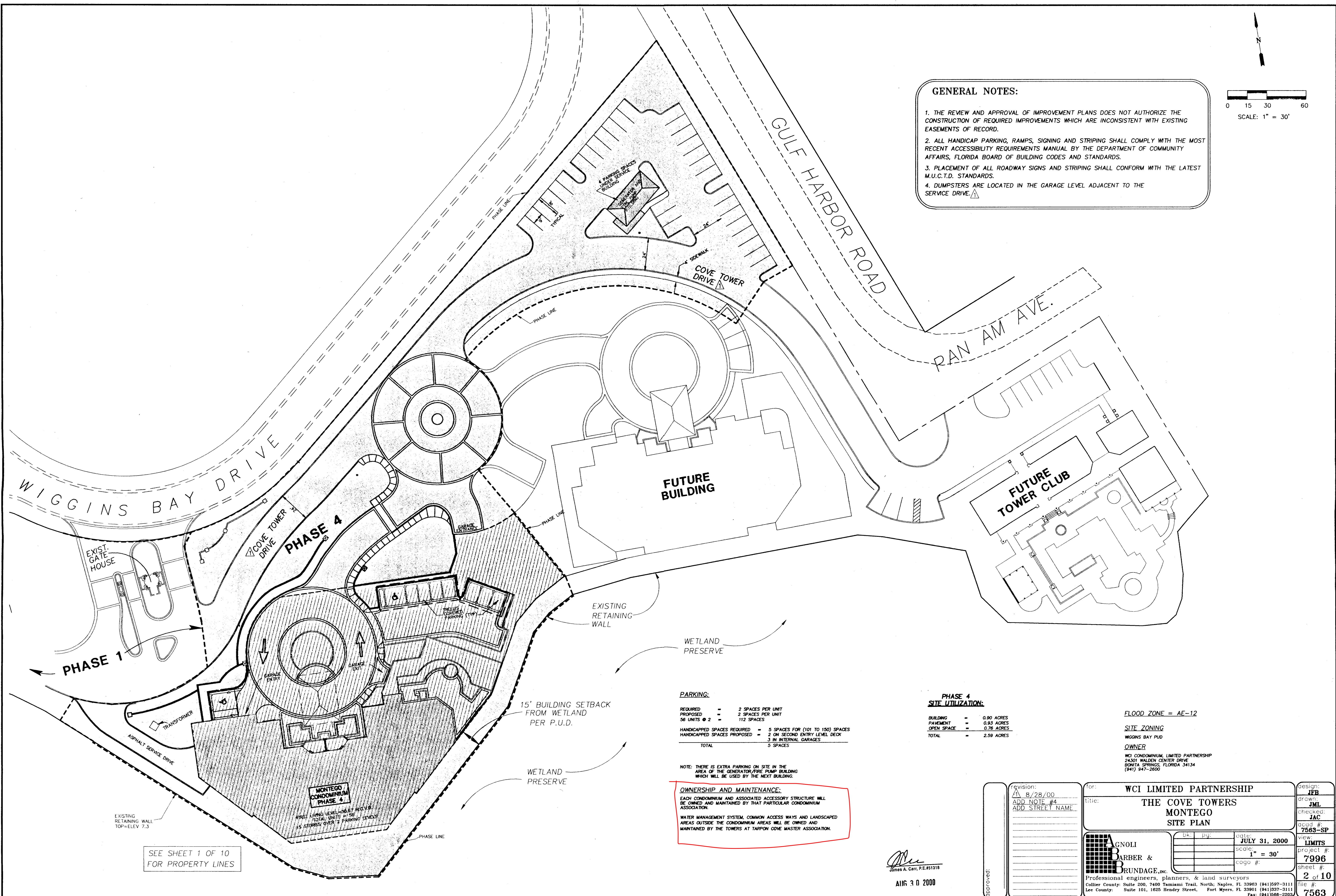
UTILITY DETAIL

PROVISION: 8-3-99 REVISED PER C.C. REVIEW COMMENTS	FOR: WCI LIMITED PARTNERSHIP	DESIGN: RAK
	TITLE: THE COVE TOWERS CARIBE - PHASE 3 UTILITY, PAVING, GRADING AND DRAINAGE PLAN	GRADER: BAK
		CHECKER: JFB
		DATE: JUNE 11, 1999
		SCALE: 1" = 30'
		PROJECT # 7036-PGD
		LIMITS
		SHEET # 7840
		3 OF 8
		7036

AGNOLI BARBER & ASSOCIATES, INC. ENGINEERS, ARCHITECTS, PLANNERS, AND LAND SURVEYORS
COLLIER COUNTY, FLORIDA
11555 BROADWAY DRIVE, FORT MYERS, FL 33903 (813) 937-3111
FAX: (813) 937-3111



- GENERAL NOTES:**
1. THE REVIEW AND APPROVAL OF IMPROVEMENT PLANS DOES NOT AUTHORIZE THE CONSTRUCTION OF REQUIRED IMPROVEMENTS WHICH ARE INCONSISTENT WITH EXISTING EASEMENTS OF RECORD.
 2. ALL HANDICAP PARKING, RAMPS, SIGNING AND STRIPING SHALL COMPLY WITH THE MOST RECENT ACCESSIBILITY REQUIREMENTS MANUAL BY THE DEPARTMENT OF COMMUNITY AFFAIRS, FLORIDA BOARD OF BUILDING CODES AND STANDARDS.
 3. PLACEMENT OF ALL ROADWAY SIGNS AND STRIPING SHALL CONFORM WITH THE LATEST M.U.C.T.D. STANDARDS.
 4. DUMPSTERS ARE LOCATED IN THE GARAGE LEVEL ADJACENT TO THE SERVICE DRIVE.



PARKING:

REQUIRED	=	2 SPACES PER UNIT
PROPOSED	=	2 SPACES PER UNIT
56 UNITS @ 2	=	112 SPACES
HANDICAPPED SPACES REQUIRED	=	5 SPACES FOR (101 TO 150) SPACES
HANDICAPPED SPACES PROPOSED	=	2 ON SECOND ENTRY LEVEL DECK
		3 IN INTERNAL GARAGES
TOTAL		5 SPACES

PHASE 4 SITE UTILIZATION:

BUILDING	=	0.90 ACRES
PAVEMENT	=	0.93 ACRES
OPEN SPACE	=	0.76 ACRES
TOTAL	=	2.59 ACRES

FLOOD ZONE = AE-12

SITE ZONING
WIGGINS BAY PUD

OWNER
WCI CONDOMINIUM LIMITED PARTNERSHIP
24301 WALDEN CENTER DRIVE
BONITA SPRINGS, FLORIDA 34134
(941) 947-2800

NOTE: THERE IS EXTRA PARKING ON SITE IN THE AREA OF THE GENERATOR/FIRE PUMP BUILDING WHICH WILL BE USED BY THE NEXT BUILDING.

OWNERSHIP AND MAINTENANCE:
EACH CONDOMINIUM AND ASSOCIATED ACCESSORY STRUCTURE WILL BE OWNED AND MAINTAINED BY THAT PARTICULAR CONDOMINIUM ASSOCIATION.
WATER MANAGEMENT SYSTEM, COMMON ACCESS WAYS AND LANDSCAPED AREAS OUTSIDE THE CONDOMINIUM AREAS WILL BE OWNED AND MAINTAINED BY THE TOWERS AT TARPON COVE MASTER ASSOCIATION.

James A. Carr, P.E. #51918
AUG 30 2000

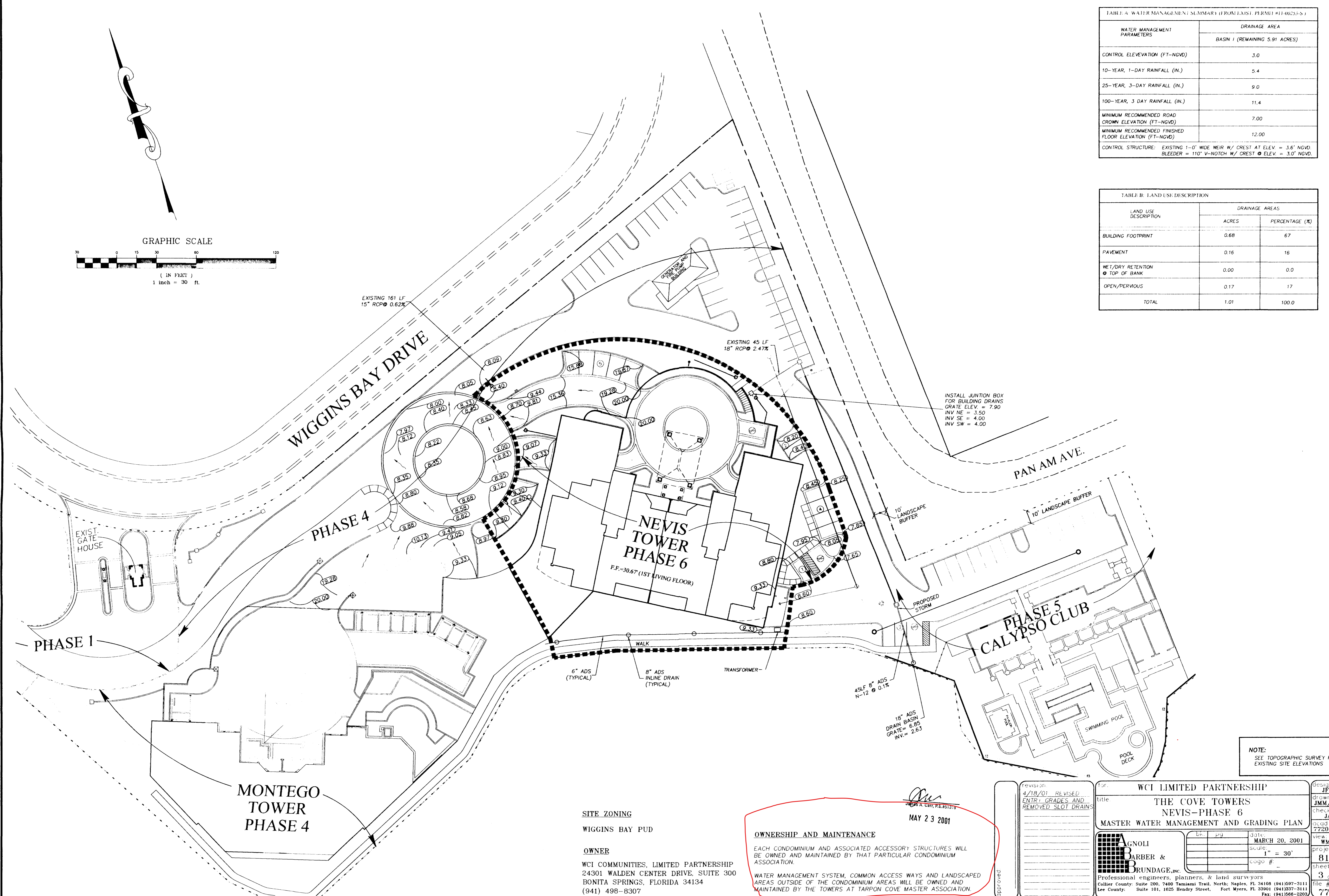
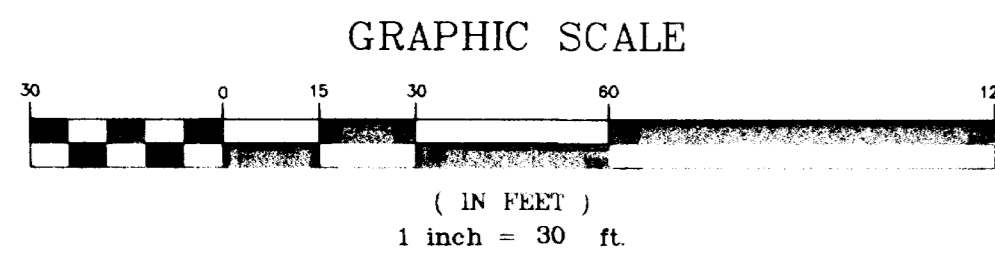
SEE SHEET 1 OF 10 FOR PROPERTY LINES

revision: 1/ 8/28/00 ADD NOTE #4 ADD STREET NAME	for: WCI LIMITED PARTNERSHIP title: THE COVE TOWERS MONTEGO SITE PLAN	design: JER draw: JML checked: JAC acad #: 7563-SP
		date: JULY 31, 2000 scale: 1" = 30' cogo #:
	Professional engineers, planners, & land surveyors Collier County: Suite 200, 7400 Tamiami Trail, North, Naples, FL 33963 (941) 597-3111 Lee County: Suite 101, 1625 Hendry Street, Fort Myers, FL 33901 (941) 837-3111 Fax: (941) 596-2253	view: LIMITS project #: 7996 sheet #: 2 of 10 file #: 7563
	APPROVED:	

K:\17896 Montego Condominium\CAD\7563-SP\7563-MST.dwg, 7563-sp-2, 08/28/2000 01:48:14 PM, lown, 1:1

WATER MANAGEMENT PARAMETERS	DRAINAGE AREA	
	BASIN 1 (REMAINING 5.91 ACRES)	
CONTROL ELEVATION (FT-NGVD)	3.0	
10-YEAR, 1-DAY RAINFALL (IN.)	5.4	
25-YEAR, 3-DAY RAINFALL (IN.)	9.0	
100-YEAR, 3 DAY RAINFALL (IN.)	11.4	
MINIMUM RECOMMENDED ROAD CROWN ELEVATION (FT-NGVD)	7.00	
MINIMUM RECOMMENDED FINISHED FLOOR ELEVATION (FT-NGVD)	12.00	
CONTROL STRUCTURE: EXISTING 1'-0" WIDE WEIR W/ CREST AT ELEV. = 3.6' NGVD BLEEDER = 110' V-NOTCH W/ CREST @ ELEV. = 3.0' NGVD		

LAND USE DESCRIPTION	DRAINAGE AREAS	
	ACRES	PERCENTAGE (%)
BUILDING FOOTPRINT	0.68	67
PAVEMENT	0.16	16
WET/DRY RETENTION @ TOP OF BANK	0.00	0.0
OPEN/PERVIOUS	0.17	17
TOTAL	1.01	100.0



SITE ZONING
WIGGINS BAY PUD

OWNER
WCI COMMUNITIES, LIMITED PARTNERSHIP
24301 WALDEN CENTER DRIVE, SUITE 300
BONITA SPRINGS, FLORIDA 34134
(941) 498-8307

OWNERSHIP AND MAINTENANCE

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WATER MANAGEMENT SYSTEM, COMMON ACCESS WAYS AND LANDSCAPED AREAS OUTSIDE OF THE CONDOMINIUM AREAS WILL BE OWNED AND MAINTAINED BY THE TOWERS AT TARPON COVE MASTER ASSOCIATION.

[Signature]
MAY 23 2001

revision:	4/18/01 REVISED
ENTR. GRADES AND	REMOVED SLOT DRAINS

WCI LIMITED PARTNERSHIP		design:	JFB
THE COVE TOWERS		drawn:	JMM/RAP
NEVIS-PHASE 6		checked:	JAC
MASTER WATER MANAGEMENT AND GRADING PLAN		cloud #:	7720-MST
br:	pg:	date:	MARCH 20, 2001
scale:	1" = 30'	view:	WM-3
logo #:		project #:	8168
		sheet #:	3 of 11
		file #:	7720

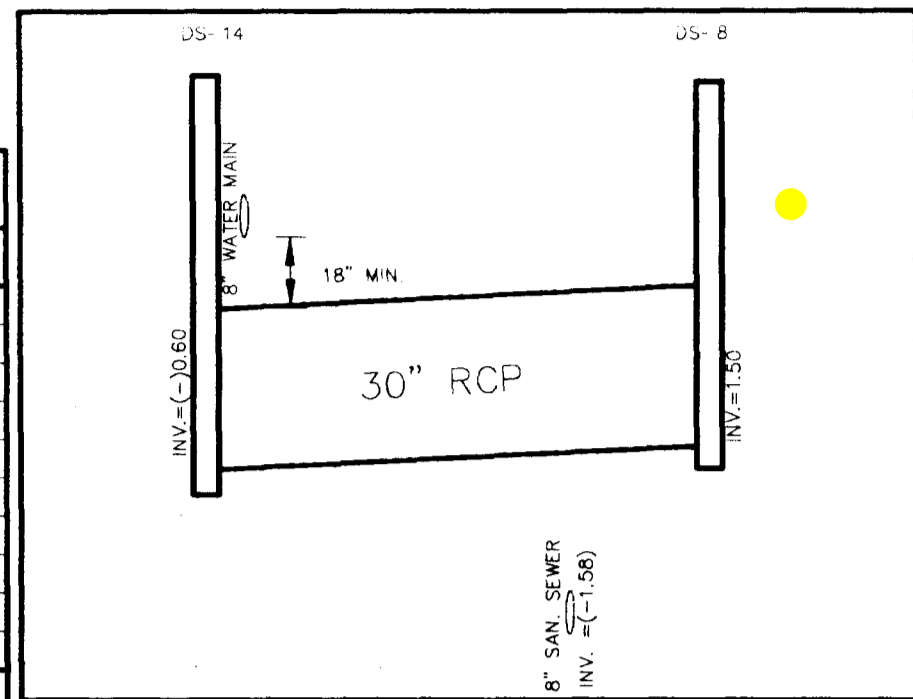
AGNOLI BARBER & BRUNDAGE, Inc.
Professional Engineers, Planners, & Land Surveyors
Collier County: Suite 200, 7400 Tamiami Trail, North, Naples, FL 34108 (941) 597-3111
Lee County: Suite 101, 1625 Hendry Street, Fort Myers, FL 33901 (941) 337-3111
Fax: (941) 568-2200

NOTE:
SEE TOPOGRAPHIC SURVEY FOR EXISTING SITE ELEVATIONS

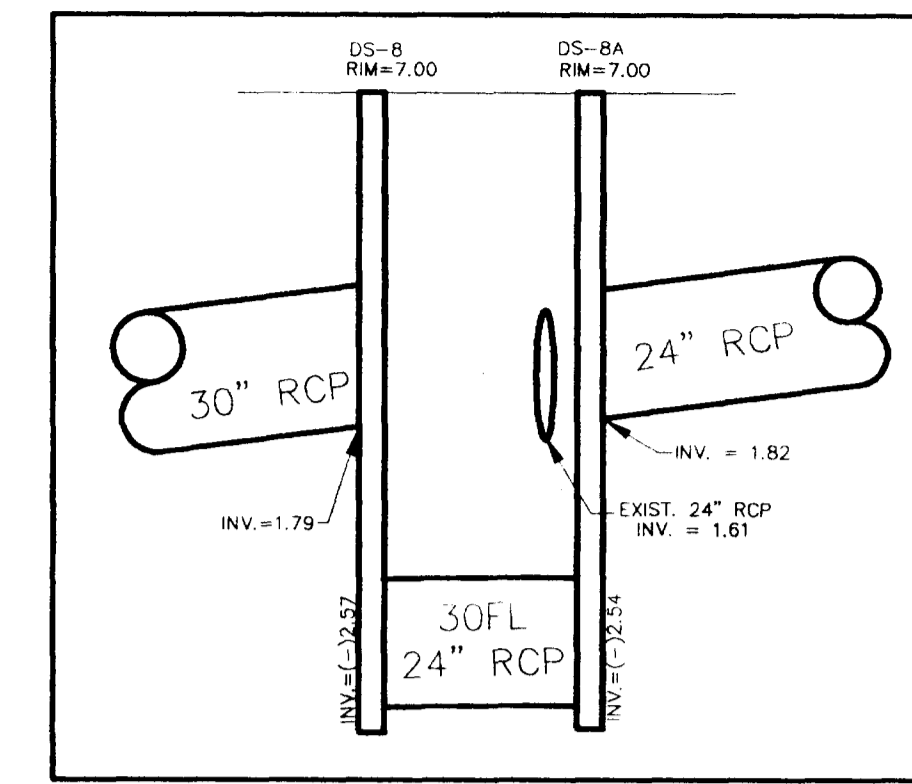
K:\8168 Nevis Condominium\CAD\7720 mst.dwg, WCI-3, 04/20/2001 02:46:38 PM, mst.dwg, 1:1

TRACT "D"
DRAINAGE EASEMENT
BASIN 2 LAKE

STRUCTURE#	TYPE	RM/GRADE ELEVATION	INVERT ELEVATION	LENGTH	PIPE SIZE	SLOPE
STORM						
DS-1	HEADWALL	7.10	-1.00	244'	36"	0.164%
DS-14	JUNCTION BOX	7.10	-0.60	90'	30"	2.66%
DS-8	JUNCTION BOX	7.00	1.79	90'	30"	0.100%
DS-8A	JUNCTION BOX	7.00	1.82	30'	24"	0.100%
DS-7	INLET TYPE "C"	7.50	2.07	85'	24"	0.295%
DS-6	JUNCTION BOX	9.25	2.30	77'	24"	0.295%
DS-4	INLET	7.50	2.51	71'	24"	0.295%
DS-3	INLET	7.50	2.95	149'	24"	0.295%
DS-2	INLET	8.20	3.34	134'	24"	0.295%
DS-1	JUNCTION BOX	9.30	3.50	54'	18"	0.295%
DS-14	JUNCTION BOX	7.10	2.90	15'	18"	0.538%
DS-15	EXISTING INLET	6.75	2.98	15'	18"	0.538%
DS-4	INLET	7.50	2.51	161'	15"	0.62%
DS-5	INLET	9.00	3.50	161'	15"	0.62%
DS-8	JUNCTION BOX	7.00	1.79	25'	30"	0.346%
DS-13	JUNCTION BOX	7.00	1.88	34'	30"	0.346%
DS-12	INLET	7.00	2.39	113'	30"	0.346%
DS-11	INLET	7.00	2.42	10'	24"	0.346%
DS-11	STUB OUT	N/A	2.42	45'	18"	2.47%
DS-11	INLET	7.00	2.39	45'	18"	2.47%
DS-11	STUB OUT	N/A	2.39	45'	18"	2.47%



VERT. = 3'
HORZ. = 30'



PROFILE VIEW DS8A TO DS8
SCALE VERT. = 3'
HORZ. = 30'

TABLE B: LAND USE DESCRIPTION (REMAINING 4.65 ACRES IN BASIN 2)

LAND USE DESCRIPTION	DRAINAGE AREAS	
	ACRES	PERCENTAGE (%)
BUILDING FOOTPRINT	1.50	32
PAVEMENT	1.66	36
WET/DRY RETENTION @ TOP OF BANK	0.00	0.0
OPEN/PERVIOUS	1.49	32
TOTAL	4.65	100.0

TABLE A: WATER MANAGEMENT SUMMARY (FROM EXIST. PERMIT #11-00253-S)

WATER MANAGEMENT PARAMETERS	DRAINAGE AREA
	BASIN 1 (REMAINING 5.91 ACRES)
CONTROL ELEVATION (FT-NGVD)	3.0
10-YEAR, 1-DAY RAINFALL (IN.)	5.4
25-YEAR, 3-DAY RAINFALL (IN.)	9.0
100-YEAR, 3 DAY RAINFALL (IN.)	11.4
MINIMUM RECOMMENDED ROAD CROWN ELEVATION (FT-NGVD)	7.00
MINIMUM RECOMMENDED FINISHED FLOOR ELEVATION (FT-NGVD)	12.00

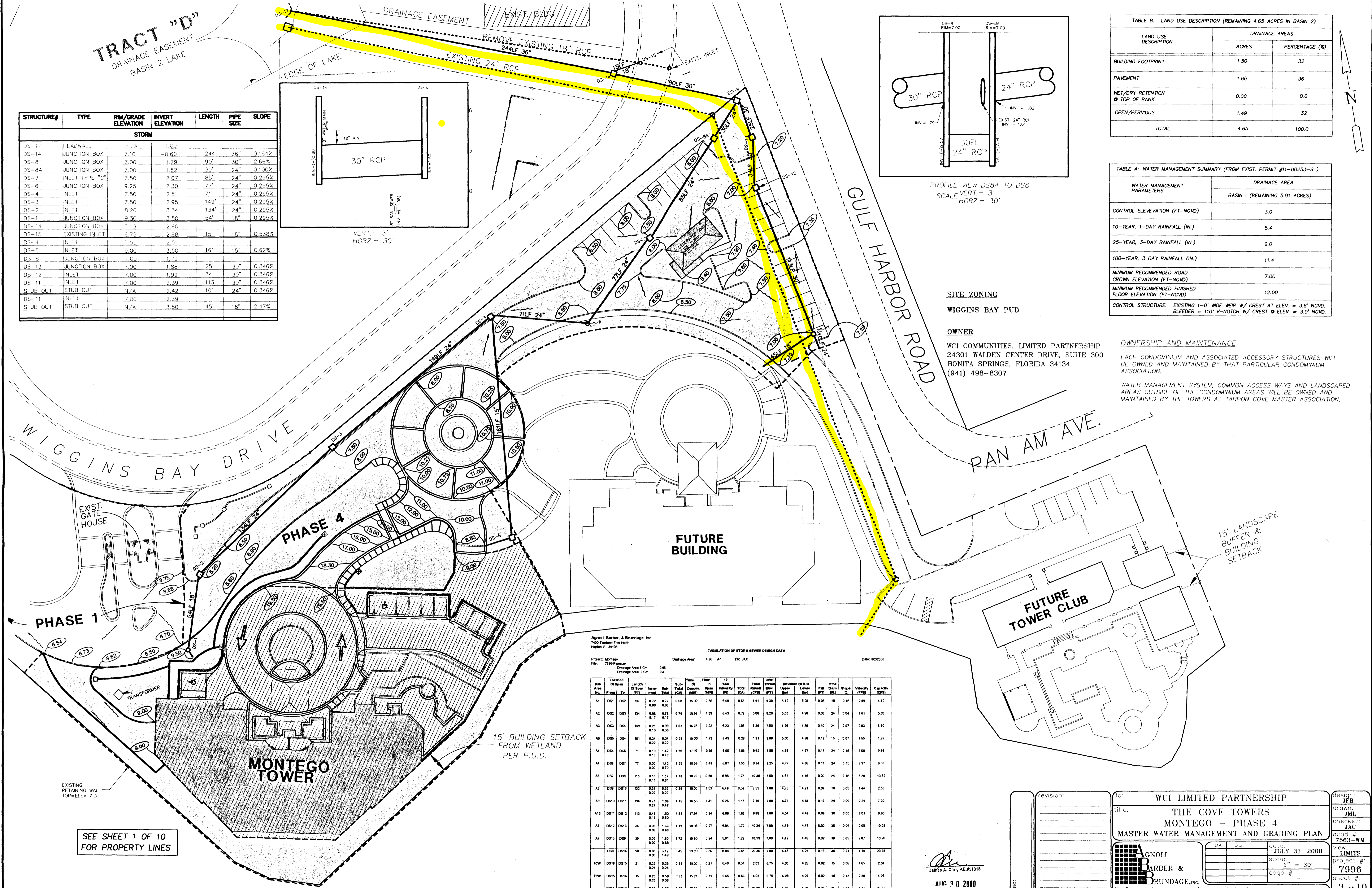
CONTROL STRUCTURE: EXISTING 1'-0" WIDE WEIR W/ CREST AT ELEV. = 3.6' NGVD. BLEEDER = 110" V-NOTCH W/ CREST @ ELEV. = 3.0' NGVD.

SITE ZONING
WIGGINS BAY PUD

OWNER
WCI COMMUNITIES, LIMITED PARTNERSHIP
24301 WALDEN CENTER DRIVE, SUITE 300
BONITA SPRINGS, FLORIDA 34134
(941) 498-8307

OWNERSHIP AND MAINTENANCE

EACH CONDOMINIUM AND ASSOCIATED ACCESSORY STRUCTURES WILL BE OWNED AND MAINTAINED BY THAT PARTICULAR CONDOMINIUM ASSOCIATION.
WATER MANAGEMENT SYSTEM, COMMON ACCESS WAYS AND LANDSCAPED AREAS OUTSIDE OF THE CONDOMINIUM AREAS WILL BE OWNED AND MAINTAINED BY THE TOWERS AT TARCON COVE MASTER ASSOCIATION.



Aggoli, Barber, & Brundage, Inc.
7400 Tamiami Trail North
Naples, FL 34108

PROJECT: Montego
FILE: 7996-Phase
DRAINAGE AREA: 4.66 Ac
DATE: 07/2000

TABULATION OF STORM SEWER DESIGN DATA

Sub Area No.	Location of Span From To	Length of Span (FT)	Invert Elev. (FT)	Sub-Total (CFS)	Total (CFS)	Time of Travel (min)	Time of Travel (hr)	10 Year Intensity (in/hr)	Total Rainfall (in)	Total Runoff (CFS)	Threatened Area (Ac)	Drainage Area (Ac)	Velocity (FPS)	Capacity (CFS)				
A1	DS1 DS2	54	0.72	0.72	0.68	15.00	0.36	6.49	0.68	4.41	9.30	5.17	0.03	0.08	18	0.15	2.49	4.42
A2	DS2 DS3	134	0.66	0.78	0.79	15.26	1.38	6.43	0.78	5.06	8.20	5.55	4.98	0.06	24	0.04	1.61	5.08
A3	DS3 DS4	149	0.21	0.99	1.03	16.75	1.22	6.23	1.03	6.39	7.50	4.98	0.10	24	0.07	2.03	6.40	
A4	DS4 DS5	161	0.24	0.24	0.29	15.00	1.73	6.49	0.29	1.91	9.00	6.00	4.88	0.12	15	0.07	1.55	1.92
A5	DS5 DS6	71	0.18	0.70	1.55	17.97	0.39	6.06	1.55	9.42	7.50	4.68	4.77	0.11	24	0.15	3.00	9.44
A6	DS6 DS7	77	0.00	1.42	1.55	19.36	0.43	6.01	1.55	9.34	9.25	4.77	4.66	0.11	24	0.15	2.97	9.36
A7	DS7 DS8	115	0.15	1.87	1.73	19.79	0.56	5.95	1.73	10.30	7.50	4.64	4.45	0.20	24	0.18	3.28	10.32
A8	DS8 DS9	132	0.25	0.35	0.39	15.00	1.53	6.43	0.39	2.55	7.00	4.78	4.71	0.07	15	0.05	1.44	2.56
A9	DS9 DS10	194	0.71	1.06	1.15	16.53	1.41	6.26	1.15	7.16	7.00	4.71	4.54	0.17	24	0.09	2.29	7.20
A10	DS10 DS11	113	0.46	1.52	1.63	17.94	0.94	6.06	1.63	9.88	7.00	4.54	4.49	0.06	30	0.05	2.01	9.90
A7	DS12 DS13	34	0.06	1.50	1.72	18.88	0.21	5.94	1.72	10.24	7.00	4.49	4.47	0.02	30	0.05	2.09	10.26
A7	DS13 DS8	30	0.00	1.60	1.72	19.15	0.24	5.91	1.72	10.19	7.00	4.47	4.45	0.02	30	0.05	2.07	10.20
RAW	DS14 DS15	21	0.25	0.25	0.31	15.00	0.21	6.49	0.31	2.03	6.75	4.30	4.28	0.02	15	0.00	1.65	2.04
RAW	DS15 DS14	15	0.25	0.50	0.63	15.21	0.11	6.45	0.63	4.03	6.75	4.28	4.27	0.02	18	0.13	2.28	4.05
RAW	DS14 DS17	244	0.00	3.87	4.08	19.75	1.21	5.83	4.08	23.80	7.10	4.27	4.00	0.27	36	0.11	3.37	23.82

James A. Carr, P.E. #51318
AUG 30 2000

revision: _____
approved: _____

for: **WCI LIMITED PARTNERSHIP**
title: **THE COVE TOWERS**
MONTEGO - PHASE 4
MASTER WATER MANAGEMENT AND GRADING PLAN

design: JFB
drawn: JML
checked: JAC
agoo #: 7563-WM
view: LIMITS
project #: 7996
sheet #: 3 of 10
file #: 7563

date: JULY 31, 2000
scale: 1" = 30'
cogo #: -

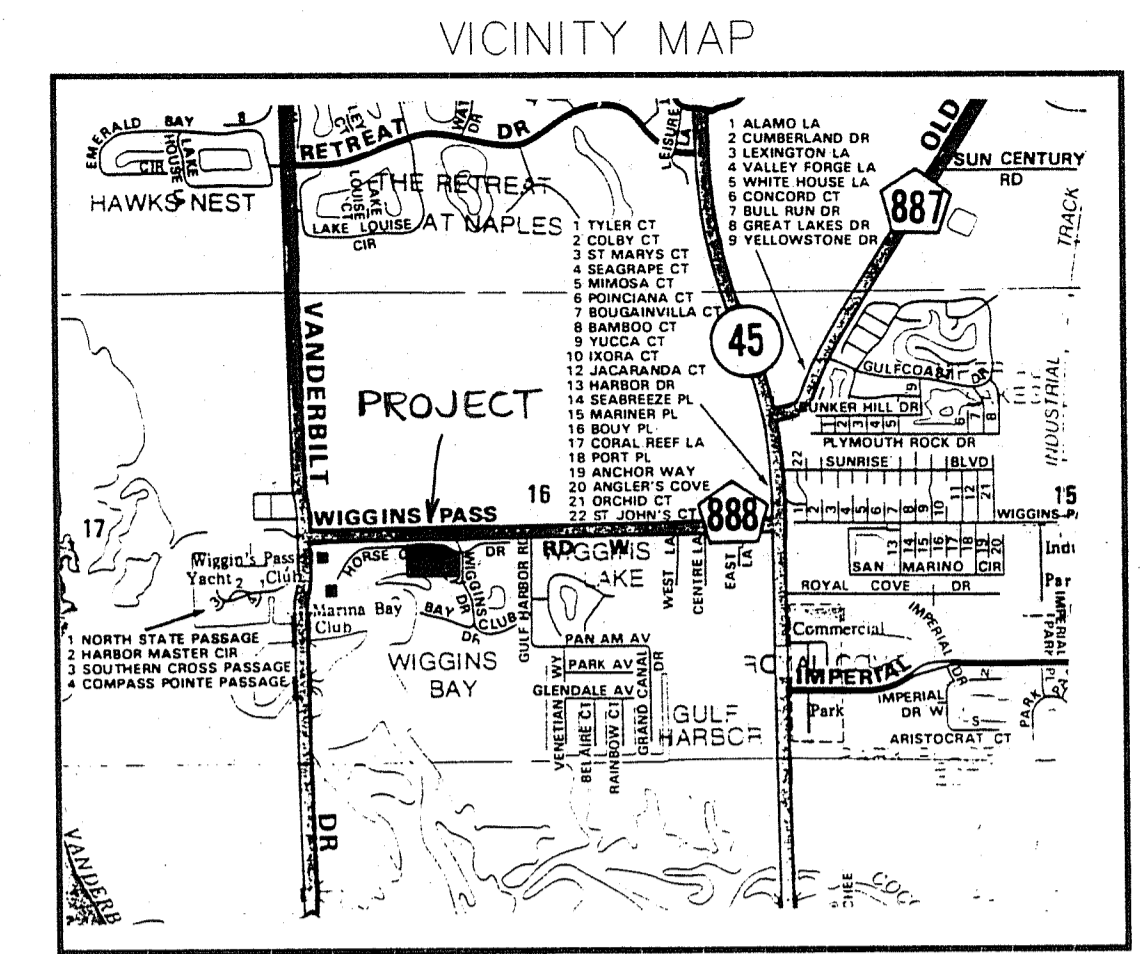
AGNOLI BARBER & BRUNDAGE, INC.
Professional engineers, planners, & land surveyors
Collier County: Suite 200, 7400 Tamiami Trail, North, Naples, FL 33963 (941) 597-3111
Lee County: Suite 101, 1625 Hendry Street, Fort Myers, FL 33901 (941) 337-3111
Fax: (941) 566-2293

SEE SHEET 1 OF 10
FOR PROPERTY LINES

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APPENDIX V

ZONING: P.U.D. #82-121
LAND USE: EXISTING CONDOMINIUM



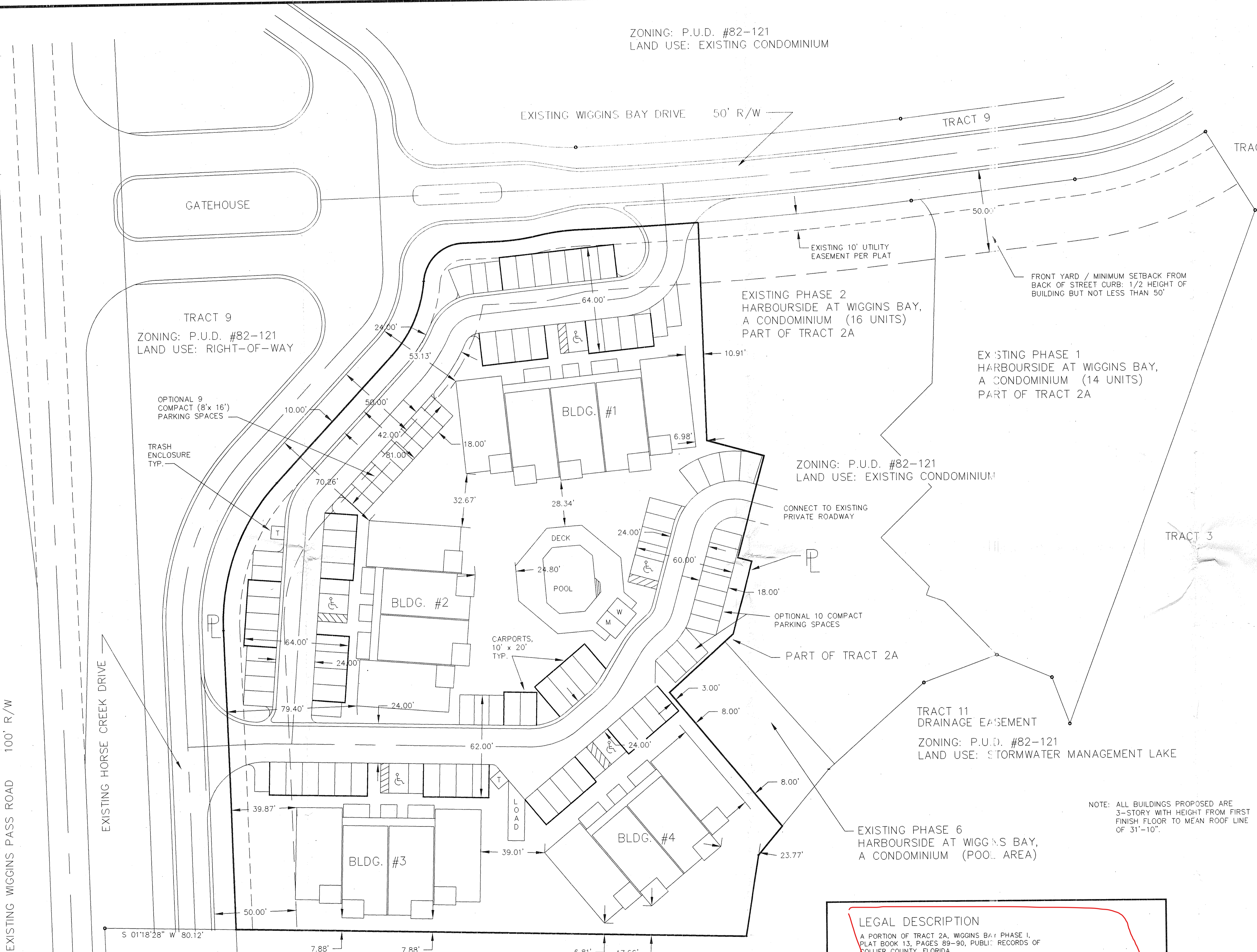
SITE LAND USES SUMMARY TABLE

- TOTAL SITE AREA = 114,486 SQ. FT.
= 2.62 +/- ACRES
- TOTAL BUILDING AREA
 - PROPOSED BUILDINGS:
3-12 UNIT @ 6,293 SQ. FT. & 1-15 UNIT @ 7,838 SQ. FT.
= 26,717 SQ. FT. (TOTAL 4 BLDGS.)
= 0.61 +/- ACRES
TOTAL BUILDING AREA / TOTAL SITE AREA = 23.3%
 - PROPOSED CARPORTS: 52 EACH @ 10' X 20' = 10,400 SQ. FT.
= 0.24 +/- ACRES
SUB-TOTAL BUILDING & CARPORT AREAS = 37,117 SQ. FT.
= 0.85 +/- ACRES
TOTAL BUILDING & CARPORT AREA / SITE AREA = 32.4%
- IMPERVIOUS AREAS:
 - PROPOSED BUILDINGS = 26,717 SQ. FT.
 - PROPOSED CARPORTS = 10,400 SQ. FT.
 - PROPOSED ASPHALT DRIVES, AISLES & PARKING SPACES = 30,549 SQ. FT.
 - ELEVATORS & STAIRWELLS = 2,620 SQ. FT.
 - SIDEWALKS = 1,840 SQ. FT.
 - POOL FACILITIES = 3,590 SQ. FT.
 SUB-TOTAL = 75,716 SQ. FT.
= 1.74 +/- ACRES
APPROXIMATELY 66% OF TOTAL SITE AREA
- LANDSCAPE AREAS / OPEN SPACES = 38,770 SQ. FT.
= 0.89 +/- ACRES
APPROXIMATELY 34% OF TOTAL SITE AREA

PARKING SUMMARY MATRIX

TYPE USE	TOTAL S.F. PER USE	REQ'D. RATIO	# SPACES REQ'D./USE	# SPACES PROVIDED/USE
1. RESERVED	10,400	1/UNIT	51	52
2. GUEST	7,182	1/UNIT	51+	51+
3. HANDIC.	1,530	5/101-150	5	5
4. LOADING	250	1/50 UNITS	1	1
5. REC. AREA	162	PER 2.314	2+	2+
TOTALS	19,524		104	105

* denotes that handicapped spaces are included in guest & rec. area # count



ZONING: P.U.D. #82-121
LAND USE: EXISTING CONDOMINIUM

TRACT 11
DRAINAGE EASEMENT
ZONING: P.U.D. #82-121
LAND USE: STORMWATER MANAGEMENT LAKE

LEGAL DESCRIPTION
A PORTION OF TRACT 2A, WIGGINS BAY PHASE I, PLAT BOOK 13, PAGES 89-90, PUBLIC RECORDS OF COLLIER COUNTY, FLORIDA

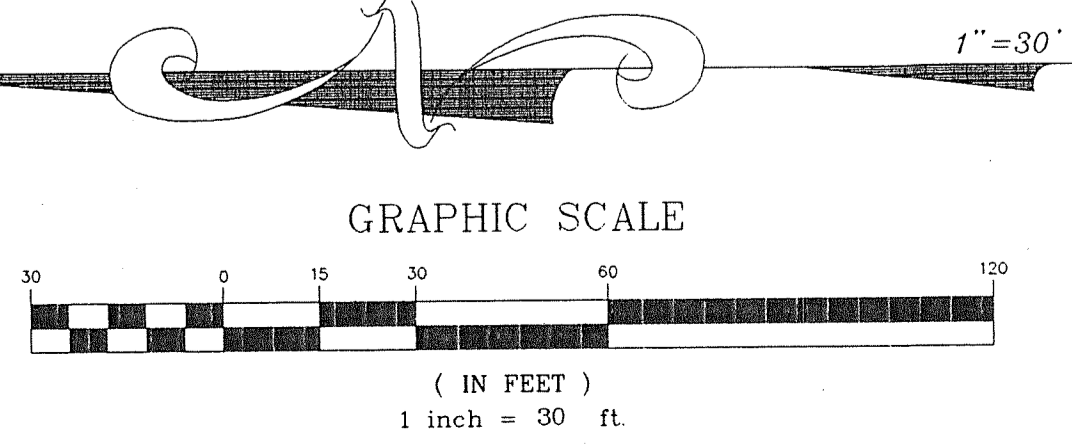
PROVISIONS OF OWNERSHIP/MAINTENANCE
THE PROPERTY OWNER AND DEVELOPER, B.C. DEVELOPMENT CORP., INC. WILL BE THE ENTITY THAT SHALL BE RESPONSIBLE FOR ALL SITE IMPROVEMENTS THAT MAY BE REQUIRED AS A RESULT OF THE SITE DEVELOPMENT PROCESS. MAINTENANCE OF THE COMMON ELEMENTS, OPEN SPACES, LANDSCAPING, DRAINAGE IMPROVEMENTS AND PRIVATE DRIVEWAYS/PARKING SPACES WILL ULTIMATELY BE THE RESPONSIBILITY OF THE PROPOSED CONDOMINIUM ASSOCIATION THAT WILL BE CREATED FOR ALL UNIT OWNERS.

A 10' UTILITY EASEMENT ALREADY EXIST ON THE PROPERTY AS A RESULT OF THE PLAT OF PUBLIC RECORD FOR POWER, TELEPHONE AND CABLE (ALONG NORTH & EAST PROPERTY LINES); SANITARY SEWER AND POTABLE WATER FACILITIES ALSO EXISTS ADJACENT TO THE NORTH & EAST PROPERTY LINE WITHIN THE RIGHT-OF-WAY OF HORSE CREEK & WIGGINS BAY DRIVES (BY COLLIER COUNTY WATER/SEWER DISTRICT).

OWNER/ADDRESS
B. C. DEVELOPMENT CORP., INC.
ATTN: MR. STEVEN J. MULLERSMAN
2190 J & C BLVD.
NAPLES, FLORIDA 33942
PHONE No. 813-591-0100

AGENT/ADDRESS
LOCKHART ENGINEERING, INC.
ATTN: ROBERT K. LOCKHART, P.E.
6732 LONE OAK BLVD.
NAPLES, FLORIDA 33942
PHONE No. 813-566-1050

TRACT 2B
ZONING: P.U.D. #82-121
LAND USE: EXISTING CONDOMINIUM
(PRINCETON PLACE)



WEST 1/4 CORNER OF SECTION 16,
TWP. 48 S., RGE. 25 E., COLLIER
COUNTY, FLORIDA
FOUND IRON PIN

N 88°07'23" E 1412.45'
S 01°18'28" W 80.12'

SDP 95-011
RECEIVED
JAN 26 1995
NO. DATE DESCRIPTION B PLANNING SERVICES

DATE: DEC. '94 FOR: B.C. DEVELOPMENT CORP., INC.

DESIGNED BY: RKL
CHECKED BY: [Signature]
DATE: 12-27-95

PRELIMINARY SITE DEVELOPMENT PLAN FOR
PART OF TRACT 2A OF WIGGINS BAY PHASE 1,
(P.B. 13, PGS. 89-90), PUBLIC RECORDS OF
COLLIER COUNTY, FLORIDA

BERMUDA COVE

LOCKHART ENGINEERING, INC.
6732 LONE OAK BLVD. NAPLES, FLORIDA 33942






SEC 16 TWP 48S RGE 25E REFERENCES: SHT. 1 OF 3 DRAWING NUMBER: D-110

5 DRAINAGE LAYOUT TABLE

Layout



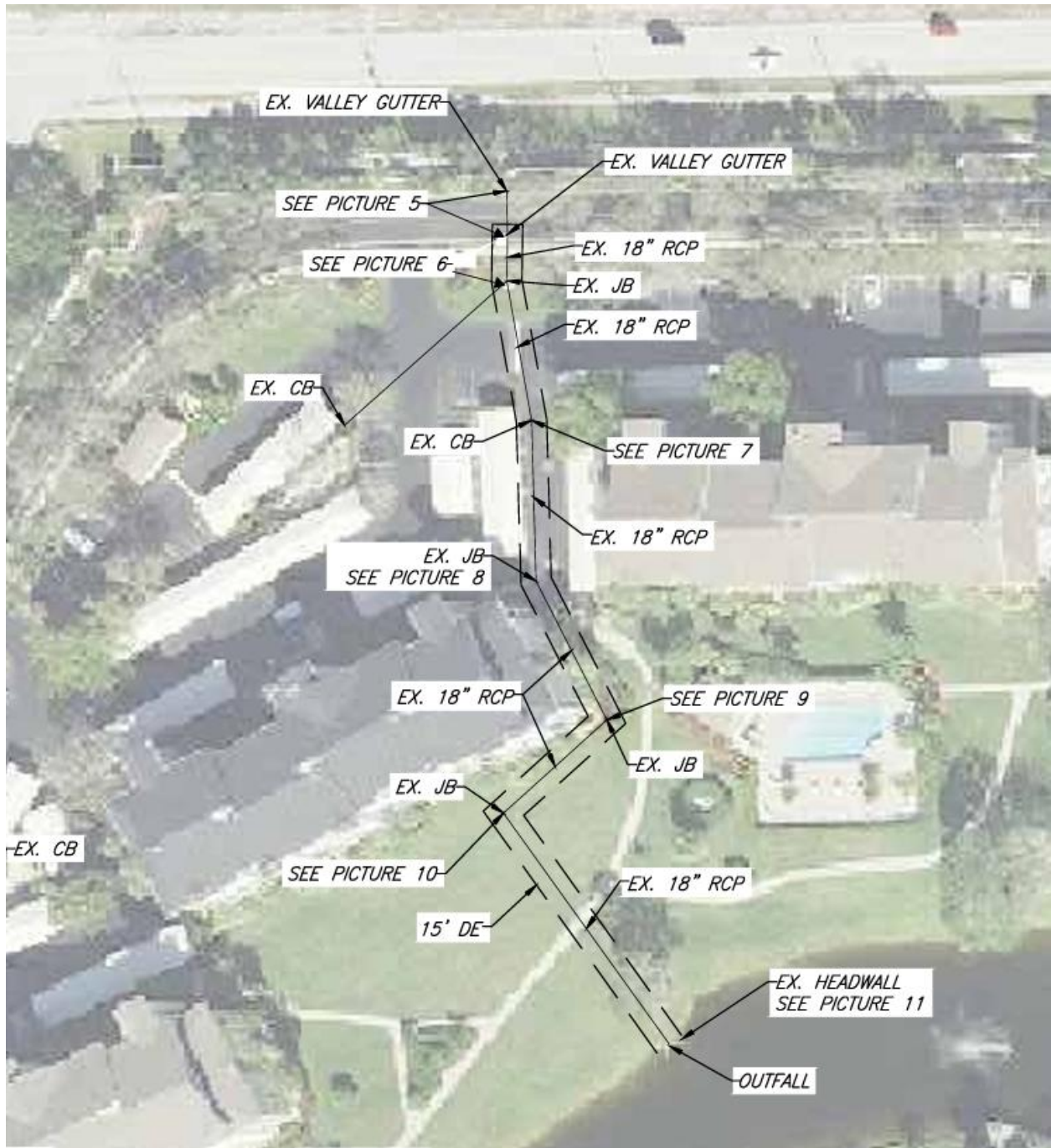
Detail

Drainage Layout: From Horse Creek Drive Culdesac to Lake 1				
Items	Drainage Structure	Condition	Recommendation	Pictures
1	Valley Gutter	Good	No cleaning required	
2	Catch Basin	Good	No cleaning required	
3	Junction Box	Unknown as this is buried	Need to identify the location	
4	Junction Box	Good	Rust around but no attention required	
5	Headwall	Good	Is in good condition. No observed sedimentation identified.	

Note:




1. No settling of the ground above the pipe observed, which indicates joints should be in good condition.
2. For pipe sizes, please see drainage exhibit layout. Sizes are per the plans.
3. Drainage exhibit layout consist Appendix that includes above pictures.
4. Drainage easement are per Plat Book 13, page 90.

Layout



Detail

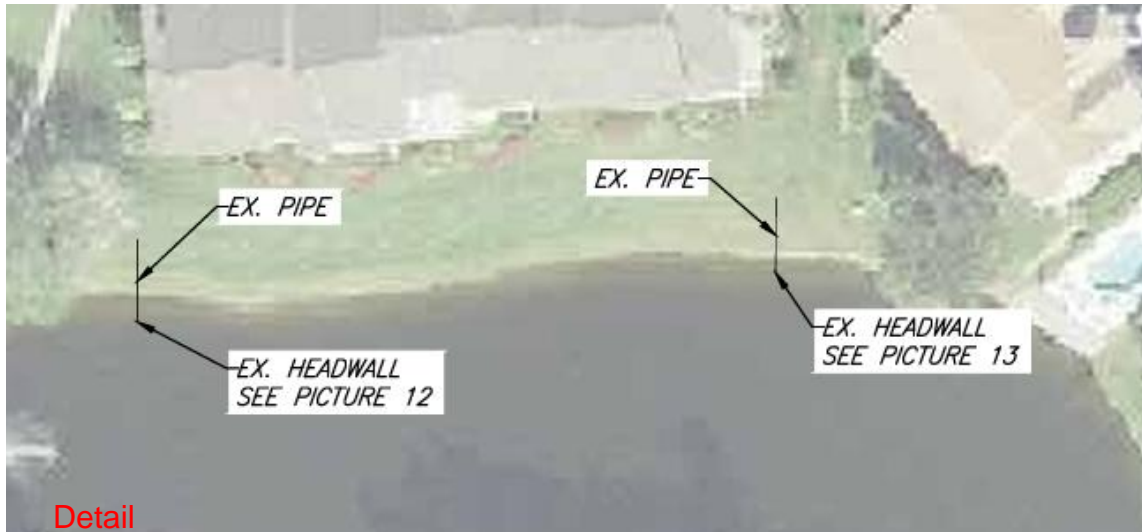
Drainage Layout: From Horse Creek Drive to Lake 1				
Items	Drainage Structure	Condition	Recommendation	Pictures
1	Valley Gutter	Good	No cleaning required	
2	Valley Gutter	Good	No cleaning required	
3	Junction Box	Good	No cleaning required	
4	Catch Basin	Good	No cleaning required	
5	Junction Box	Unknown but assumed fair condition.	Some settling near junction box. Given the age of the box it doesn't appear to be critical. Junction box top to be cleaned and	



			opened for observation.	
6	Juntion Box	Unknown	Per plan this area should have Junction box so should be buried. To be located and opened.	
7	Junction Box	Unknown	Per plan this area should have Junction box so should be buried. To be located and opened.	
8	Headwall	Good	Is in good condition. No observed sedimentation identified.	

Note:

- 1 No settling of the ground above the pipe observed, which indicates joints should be in good condition.
- 2 For pipe sizes, please see drainage exhibit layout. Sizes are per the plans.
2. Drainage exhibit layout consist Appendix that includes above pictures.
3. Drainage easement are per Plat Book 13, page 90.

Layout

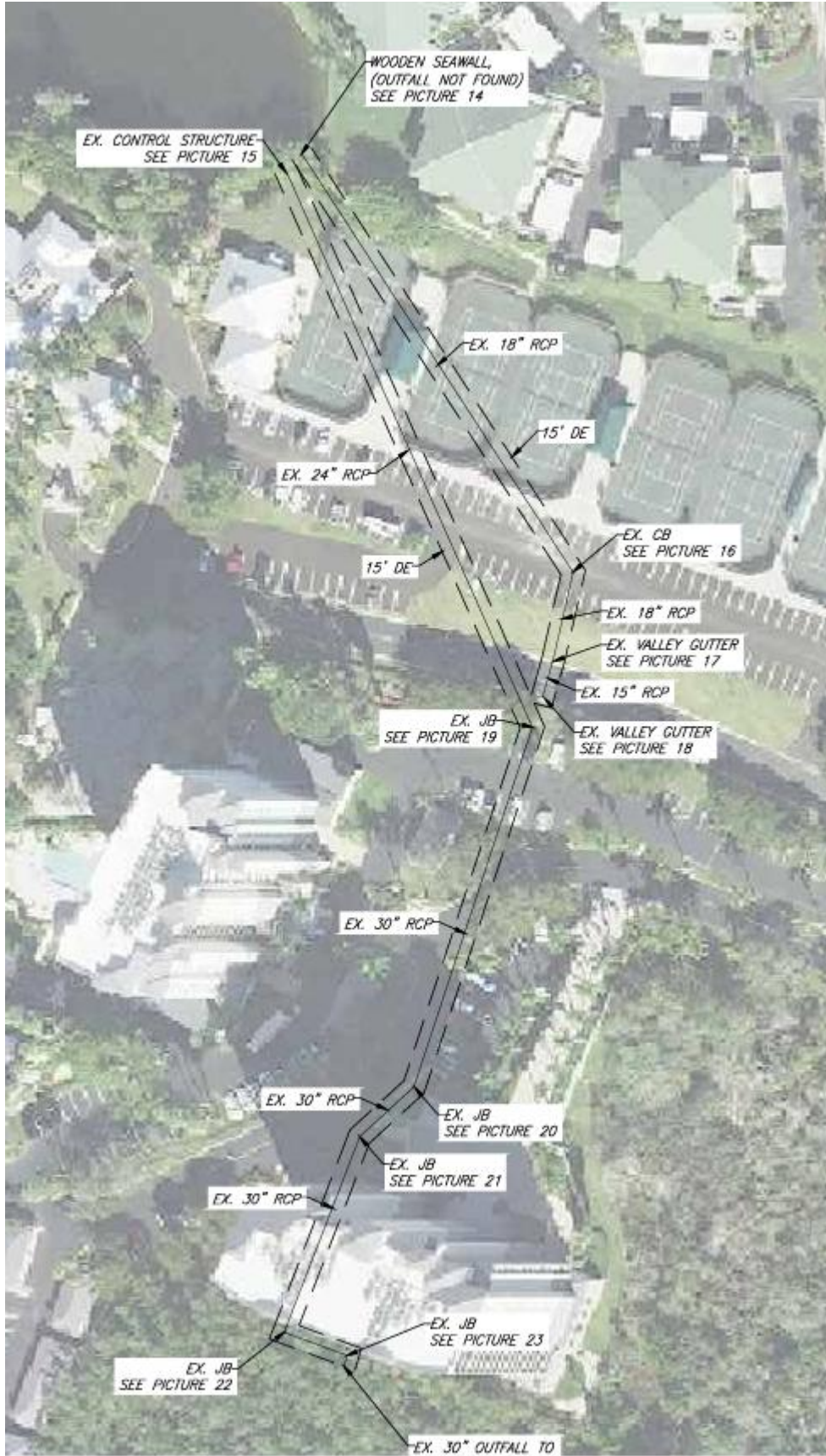


Additional Headwalls in Lake 1				
Items	Drainage Structure	Condition	Recommendation	Pictures
1	Headwall	Good	Check the outfall opening regularly. Upstream pipe and drainage are privately owned and maintied.	
2	Headwall	Good	Check the outfall opening regularly. Upstream pipe and drainage are privately owned and maintied.	




Note:

1. As the headwall contribute to the lake, all the headwalls in the lake along with the pipe up to the Lake easement should be maintained by the Wiggins Bay Foundation.

Layout







Detail




Drainage Layout: From Bay Club Drive to Lake 1				
Items	Drainage Structure	Condition	Recommendation	Pictures
1	Valley Gutter	Good	No cleaning required	
2	Catch Basin	Fair	Need a cleaning on small inlet, it has lot of debris and sediments. Big inlet is in good condition.	
3	Wooden Seawall	Fair	This Wooden seawall is not WBF responsibility	

Note:

1. Not sure if the 18 inch pipe to lake shown in plan exist or maybe it is buried, couldn't locate.
2. For pipe sizes, please see drainage exhibit layout. Sizes are per the plans.
3. Drainage exhibit layout consist Appendix that includes above pictures.
4. Drainage easement are per Plat Book 13, page 90.

Detail

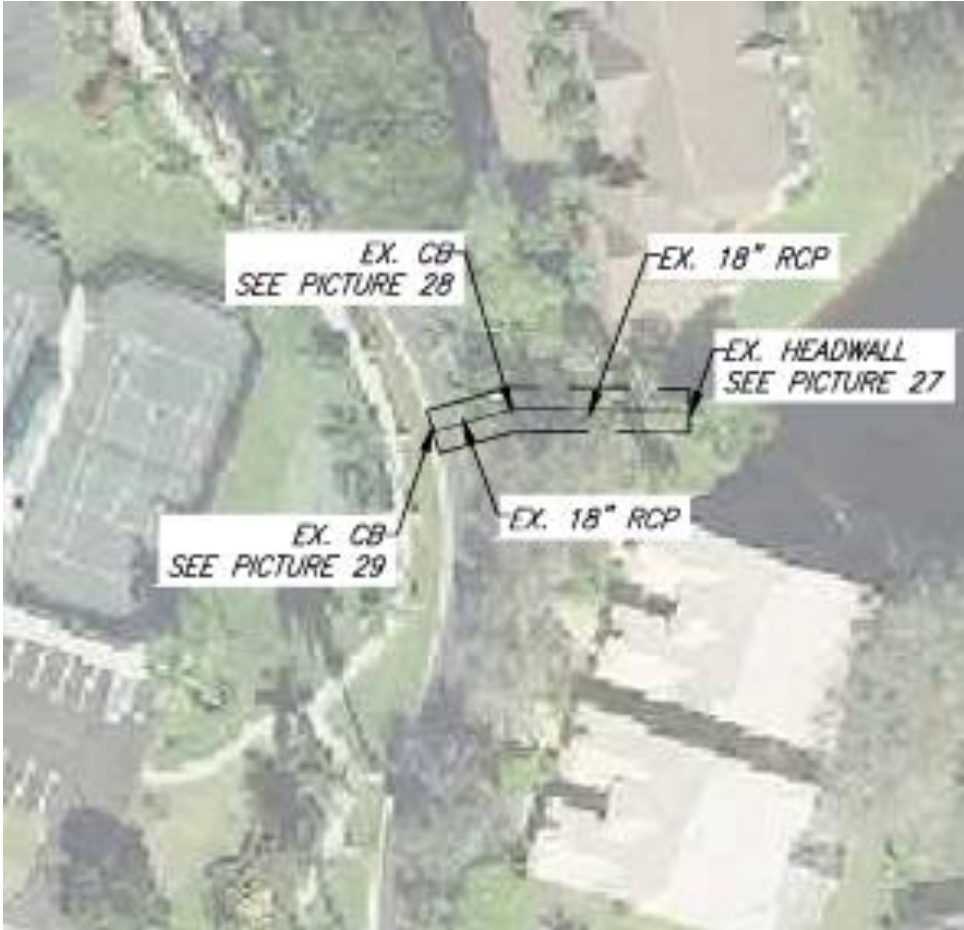
Drainage Layout: From Lake 2 to Preserve				
Items	Drainage Structure	Condition	Recommendation	Pictures
1	Control structure	Good	No cleaning required	
2	Junction Box	Good	No cleaning required	
3	Junction Box	Good	No cleaning required	
4	Junction Box	Good	No cleaning required	

5	Junction Box	Fair	Need to clean the lid as it might have stuck due to rust.	
6	Junction Box	Good	No cleaning needed. However, need to open it to see if the outfall pipe is going to the preserve.	
7	Outfall to swale	Unknown	Not sure if there is outfall pipe, can't reach due to fence. Need to scope and determine the location and condition.	




Note:

1. For pipe sizes, please see drainage exhibit layout. Sizes are per the plans.
2. Drainage exhibit layout consist Appendix that includes above pictures.
3. Drainage easement are per Plat Book 13, page 90.

Layout



Detail

Drainage Layout: From Wiggins Bay Drive to Lake 2				
Items	Drainage Structure	Condition	Recommendation	Pictures
1	Valley Gutter	Good	No cleaning required	
2	Valley Gutter	Good	No cleaning required	
3	Headwall	Fair	Buried around the headwall and cleaning needed on the opening.	

Note:





1. For pipe sizes, please see drainage exhibit layout. Sizes are per the plans.
2. Drainage exhibit layout consist Appendix that includes above pictures.
3. Drainage easement are per Plat Book 13, page 90.



Layout



Per OR 2223, Page 0977 the 15' and 30' DE was vacated but likely replacement easement was provided since it is required as the pipe discharge towards outfall.

Detail


Drainage Layout: From Lake 2 control structure to Preserve				
Items	Drainage Structure	Condition	Recommendation	Pictures
1	Control structure	Good	No cleaning required	
2	Junction Box	Good	No cleaning required	
3	Catch Basin	Good	No cleaning required. The easement was vacated but likely a replacement easement was provided as it is needed.	
4	Catch Basin	Good	No cleaning required	

5	Catch Basin	Good	No cleaning required	
6	Outfall Pipe	Fair	Pipe is almost buried, required cleaning of opening and around the pipe. Possibly need a check valve to stop flows towards lake.	

Note:

1. For pipe sizes, please see drainage exhibit layout. Sizes are per the plans.
2. Drainage exhibit layout consist Appendix that includes above pictures.
3. Drainage easement are per Plat Book 13, page 90.

Detail

Drainage Layout: From Lake 2 headwall to inlet				
Items	Drainage Structure	Condition	Recommendation	Pictures
1	Headwall	Good	No cleaning required	
2	Junction Box	Unknown	Can't locate so may be buried.	

3	Valley Gutter	Good	No cleaning required.	
4	Valley Gutter	Good	No cleaning required.	
5	Catch Basin	Average	Debris and leaves so need cleaning also, plans shows otherwise but this inlet is connecting to the South inlet.	



Note:

1. For pipe sizes, please see drainage exhibit layout. Sizes are per the plans.
2. Drainage exhibit layout consist Appendix that includes above pictures.
3. Drainage easement are per Plat Book 13, page 90.

Layout



Detail

Drainage Layout: From Wiggins Dr North to Lake 2				
Items	Drainage Structure	Condition	Recommendation	Pictures
1	Valley Gutter	Good	No cleaning required	
2	Valley Gutter	Good	No cleaning required	

Note:

1. For pipe sizes, please see drainage exhibit layout. Sizes are per the plans.
2. Drainage exhibit layout consist Appendix that includes above pictures.
3. Drainage easement are per Plat Book 13, page 90.

Per plan these valley gutters are connected by the 18” pipe and runs towards the conservation easement area and stop at the middle, from there is overland flows, see below.

6 DRAINAGE LAYOUT EXHIBIT

7 PHOTOS OF DRAINAGE STRUCTURES.

Picture 1



Picture 2



Picture 3



Picture 4



Picture 5



Picture 5



Picture 6



Picture 7



Picture 8



Picture 9



Picture 10



Picture 11



Picture 12



Picture 13



Picture 14



Picture 15



Picture 16



Picture 17 & 18



Picture 19



Picture 20



Picture 21



Picture 22



Picture 23



Picture 24



Picture 25



Picture 26



Picture 27



Picture 28



Picture 29



Picture 30



Picture 31



Picture 32



Picture 33



Picture 34



Picture 35



Picture 36



Picture 37



Picture 38



Picture 39





Recommendation for the drainage structure inspection done on Wiggins Bay

Existing conditions:

The site is located North of Wiggins Pass Road and East of Vanderbilt Drive. The address of the site is Wiggins Bay Drive, North Naples, FL 34110. The site is currently residential.

Pipe inspections:

Based on the mapping, approved plans, recorded plat and site, we performed above ground inspection of each drainage facility that Wiggins Bay Foundation is responsible and noted the condition of each structure.

Recommendation on the drainage structures and pipes.

Per Plat Book 13, page 89, Wiggins Bay Foundation and its assigns are responsible for maintenance of all drainage easements from Horse Creek Drive. There are two easements from Horse Creek Drive to the existing Lake 1. Refer to Due Diligence (DD) Report for Graphic View and pictures. See page 22-27 & 41.

Pipe and drainage structure located in an easement from Horse Creek Drive Culdesac to Lake 1 is in good condition. However, one Junction box is buried (see page 22-23 & drainage layout exhibit, page 41 of Due Diligence report) so its condition is unknown. Pipe seems to be in good condition as there is no sediment in the drainage structures.

Another pipe and drainage structure located in an easement from Horse Creek Drive Road to Lake 1 (East of previous easement) is in fair condition. Two Junction boxes are buried (see page 25, 26 & drainage layout exhibit, page 41 of Due Diligence report) so its structure is unknown. One Junction Box has settled so its top needs to be cleaned (see page 25 of DD report for image). Pipe seems to be in good condition as there is no sediment in the drainage structures.

All the headwalls in the existing lakes are Wiggins Bay responsibility. Per visual observation they are all in good condition. One head wall on lake 2 has some debris so needs to be cleaned (see page 32 and 33 of DD report)

Per Plat Book 13, page 89, Wiggins Bay Foundation and its assigns are responsible for maintenance of two drainage easements from lake 1 to the outfall on south. (See page 28 -31 of DD report for image and layout. Also, refer to the drainage layout exhibit on page 41). However, the existing wooden seawall is not Wiggins Bay Foundation responsibility. The plans show an existing 18-inch pipe running underneath the existing tennis court but couldn't locate the outfall due to wooden seawall so requires sewer viewers to locate. The structures are in fair and good condition. The junction box near the outfall/preserve in the south needs cleaning as the lid seems stuck due to rust (see page 31). The outfall pipe couldn't be located, maybe it is buried. Requires cleaning around that area to see the outfall pipe. These two easements pipe requires sewer viewers analysis to identify the pipe route and conditions.

Per Plat Book 13, page 89, Wiggins Bay Foundation and its assigns are responsible for maintenance of all drainage easements from Wiggins Bay Drive to Lake 2 and from Lake 2 to outfall in south. The drainage Structure of North and East of Lake 2 are in good condition. However, the South side of Lake that goes to

the preserve is in fair condition. The outfall pipe is almost buried and requires cleaning of opening and around the pipe. Possibly need a check valve to stop flows towards lake. The easement going towards the south of Lake 2 requires sewer viewers analysis to identify the pipe route and conditions.